

RESOLUTION No. 22-12

A RESOLUTION OF THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, SITTING AS THE LOCAL PLANNING AGENCY, RECOMMENDING GOING FORWARD WITHOUT A RECOMMENDATION TO THE LOCAL GOVERNING BODY, THE FIRST AMENDMENT TO THE AMENDED AND RESTATED MASTER DEVELOPMENT AGREEMENT AND A MODIFICATION TO THE DOWNTOWN DORAL SOUTH PATTERN BOOK, TO TRANSFER A ±1.35 ACRE PARCEL OF LAND AND 15,000 SQUARE FEET OF OFFICE SPACE TO THE DOWNTOWN DORAL DMU DEVELOPMENT PROGRAM; AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, CC Homes at Doral, LLC, White Course Lennar, LLC, and CC-WCD TIC, LLC (the “Developers”) are the developers of approximately ±130.1 acres of land located within the boundaries of the City commonly known as Downtown Doral South, as legally described in “Exhibit A”; and

WHEREAS, the Developers and the City entered into a Master Development Agreement dated March 28, 2012, and recorded in Official Records Book 28099 at Page 22 in the public records of Miami-Dade County, Florida; and

WHEREAS, the Master Development Agreement was amended by that certain Amended and Restated Master Development Agreement dated November 2, 2016, and recorded in Official Records Book 30296 at Page 1525 in the public records of Miami-Dade County, Florida; and

WHEREAS, the Developers is requesting approval of the First Amendment to Amended and Restated Master Development Agreement and modification to the Pattern Book for Downtown Doral South, a ±130.1 acre parcel located east of NW 87 Avenue and north of NW 41 Street; and

WHEREAS, the Developers desire to transfer ±1.35 acres of land, as legally described in “Exhibit B” (the “Transfer Property”), and the square footage assigned to it from the Downtown Doral South DMU to the Downtown Doral DMU; and

WHEREAS, as a result of the redesignation of the Transfer Property to Downtown Doral DMU, the Developers seek to amend the Master Development Agreement to modify Paragraph 5(a), entitled “Permitted Development Uses” and “Exhibit A,” entitled “Legal Description of Property” and modify the Pattern Book for Downtown Doral South DMU to reflect new project boundaries; and

WHEREAS, on January 26, 2022, the City Council of the City of Doral sitting as the Local Planning Agency (LPA) at a properly advertised hearing received testimony and evidence related to the proposed First Amendment to Amended and Restated Master Development Agreement and modification to the Pattern Book for Downtown Doral South DMU as required by state law and local ordinances.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA SITTING AS THE LOCAL PLANNING AGENCY THAT:

Section 1. Recitals. The foregoing recitals are confirmed, adopted, and incorporated herein and made as part hereof by this reference.

Section 2. Approval. The Local Planning Agency hereby recommends going forward without a recommendation to the local governing body (City Council) of the First Amendment to Amended and Restated Master Development Agreement and modification to the Pattern Book for Downtown Doral South, revised October 2021, attached hereto as “Exhibit C” and “Exhibit D,” respectively.

Section 3. Effective Date. This Resolution shall become effective immediately upon its adoption by the Local Planning Agency (LPA).

The foregoing Resolution was offered by Councilmember Puig-Corve who moved its adoption. The motion was seconded by Vice Mayor Cabral and upon being put to a vote, the vote was as follows:

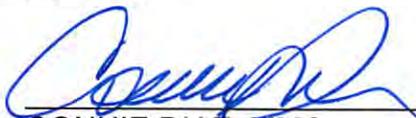
Mayor Juan Carlos Bermudez	Yes
Vice Mayor Digna Cabral	Yes
Councilman Pete Cabrera	Yes
Councilwoman Claudia Mariaca	Yes
Councilman Oscar Puig-Corve	Yes

TRANSMITTED WITHOUT A RECOMMENDATION TO THE LOCAL GOVERNING BODY (CITY COUNCIL) THIS 26 DAY OF JANUARY, 2022.



JUAN CARLOS BERMUDEZ, MAYOR

ATTEST:



CONNIE DIAZ, MMC
CITY CLERK

APPROVED AS TO FORM AND LEGAL SUFFICIENCY
FOR THE USE AND RELIANCE OF THE CITY OF DORAL ONLY:



LUIS FIGUEREDO, ESQ.
CITY ATTORNEY

EXHIBIT “A”

LEGAL DESCRIPTION OF EXISTING DDS PROPERTY

LEGAL DESCRIPTION:

The Southeast quarter (S.E. 1/4) of the Southwest quarter (S.W. 1/4) and the Southwest quarter (S.W. 1/4) of the Southeast quarter (S.E. 1/4) and the Southwest quarter (S.W. 1/4) of the Southwest quarter (S.W. 1/4) of Section 22, Township 53 South, Range 40 East, Dade County, Florida.

TOGETHER WITH:

The South half (S. 1/2) of the Northwest quarter (N.W. 1/4) of the Southwest quarter (S.W. 1/4) and the South half (S. 1/2) of the Northeast quarter (N.E. 1/4) of the Southwest quarter (S.W. 1/4) and the South half (S. 1/2) of the Northwest quarter (N.W. 1/4) of the Southeast quarter (S.E. 1/4), all in Section 22, Township 53 South, Range 40 East, Dade County, Florida.

LESS:

The Southeast quarter (S.E. 1/4) of the Northwest quarter (N.W. 1/4) of the Southeast quarter (S.E. 1/4) of Section 22, Township 53 South, Range 40 East, Dade County, Florida.

ALSO LESS:

The East half (E. 1/2) of the Southwest quarter (S.W. 1/4) of the Southeast quarter (S.E. 1/4) of Section 22, Township 53 South, Range 40 East, Dade County, Florida.

ALSO LESS:

The South 80 feet of the Southwest quarter (S.W. 1/4) of Section 22, Township 53 South, Range 40 East, Dade County, Florida.

ALSO LESS:

The South 80 feet of the West half (W. 1/2) of the Southwest quarter (S.W. 1/4) of the Southeast quarter (S.E. 1/4) of Section 22, Township 53 South, Range 40 East, Dade County, Florida.

ALSO LESS:

That portion of the Plat of DORAL RIGHT OF WAY, according to the Plat thereof as recorded in Plat Book 104, Page 93, of the Public Records of Dade County, Florida, lying East of the West line of the Southwest quarter (S.W. 1/4) of Section 22, Township 53 South, Range 40 East, Dade County, Florida.

ALSO LESS:

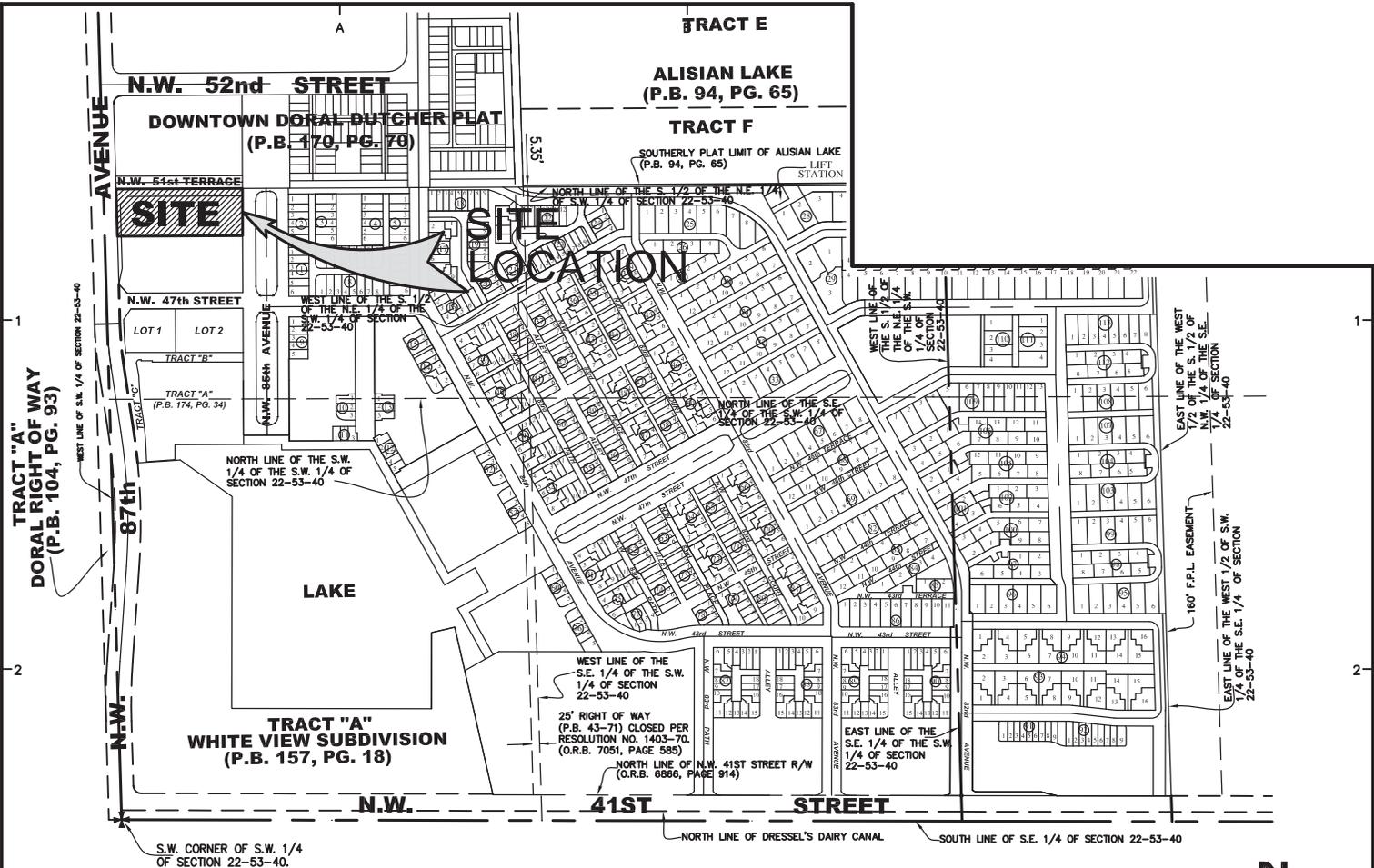
A Parcel of land lying in the S.W. 1/4 of Section 22, Township 53 South, Range 40 East, being more particularly described as follows:

COMMENCE at the southwest corner of said Section 22; thence run North, along the west line of the S.W. 1/4 of said Section 22 and along the centerline of N.W. 87th Avenue as shown on the plat of DORAL RIGHT OF WAY, Plat Book 104, Page 93, for a distance of 103.05 feet to a point; thence run East for a distance of 40.00 feet to a point on the east right-of-way line of said N.W. 87th Avenue and the POINT OF BEGINNING of the following described parcel of land; thence run North, along said easterly right-of-way line of N.W. 87th Avenue, for a distance of 206.95 feet to the point of curvature of a circular curve to the right having a radius of 1,869.86 feet; thence run Northeasterly, along said east right-of-way line of N.W. 87th Avenue and along the arc of said curve for a distance of 183.57 feet, through a central angle of 5°37'30" to the point of tangency; thence run North 05°37'30" East, along said east right-of-way line of N. W. 87th Avenue, for a distance of 300.00 feet to the point of curvature of a circular curve to the left having a radius of 1,949.86 feet; thence run Northerly, along said east right-of-way line of N.W. 87th Avenue and along the arc of said curve, for a distance of 326.91 feet, through a central angle of 9°36'22" to a point; thence run North 87°45'52" East for a distance of 134.24 feet to a point; thence run South 53°14'24" East for a distance of 200.00 feet to a point; thence run South 01°45'36" West for a distance of 665.00 feet to a point; thence run South 88°14'24" East for a distance of 630.00 feet to a point; thence run North 01°45'36" East for a distance of 239.29 feet to a point; thence run North 78°45'36" East for a distance of 75.00 feet to a point; thence run South 11°14'24" East for a distance of 540.00 feet to a point on the north right-of-way line of N.W. 41st Street; thence run North 88°14'24" West, along the north right-of-way line of N.W. 41st Street and along the line parallel to and 80.00 feet North of the south line of the S.W. 1/4 of said Section 22, for a distance of, 1,109.20 feet to the point of curvature of a circular curve to the right having a radius of 25.00 feet; thence run Northwesterly, along the east right-of-way line of the aforementioned N.W. 87th Avenue and along the arc of said curve, for a distance of 38.50 feet, through a central angle of 88°14'24" to the point of tangency and the POINT OF BEGINNING.

Said lands lying in Dade County, Florida, containing 130.15 acres more or less.

EXHIBIT “B”

Q:\FORD COMPANIES\Engineering & Surveying\Survey\Sketch & Legal\14A046-1006 DOWNTOWN DORAL SOUTH\14H046-1000 DDS PHASE ONE - TRANSFER PARCEL 10-18-2021.dwg



LOCATION MAP

PORTION OF THE SOUTH 1/2 OF SECTION 22, TOWNSHIP 53 SOUTH, RANGE 40 EAST, CITY OF DORAL, MIAMI-DADE COUNTY, FLORIDA.
(NOT TO SCALE)



SURVEYOR'S NOTES:

- 1) This is not a Boundary Survey, but only a GRAPHIC DEPICTION of the description shown hereon.
- 2) North arrow direction and Bearings shown hereon are based on recorded value of S88°36'17"E, along the North Line of the South 1/2, of the Northwest 1/4 of the Southwest 1/4 of Section 22, Township 53 South, Range 40 East, as shown on P.B. 173, Pg. 23.
- 3) Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.
- 4) There may be additional Restrictions not shown on this Sketch & Legal that may be found in the Public Records of this County, Examination of TITLE COMMITMENT will have to be made to determine recorded instruments, if any affecting this property.
- 5) The Sketch and Legal Description shown herein is based on the information provided by the Client.
- 6) No Title research has been performed to determine if there are any conflict existing or arising out of the creation of the easements, Right of Ways, Parcel Descriptions, or any other type of encumbrances that the herein described legal may be utilized for.

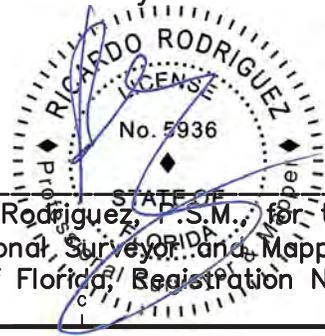
SURVEYOR'S CERTIFICATE:

I Hereby Certify to the best of my knowledge and belief that this drawing is a true and correct representation of the SKETCH AND LEGAL DESCRIPTION of the real property described hereon.
I further certify that this survey was prepared in accordance with the applicable provisions of Chapter 5J-17.051 (Formerly 61G17-6), Florida Administrative Code, and conforms to the Standards of Practices set forth by the Florida Board of Land Surveyors and Mappers pursuant to Section 472.027, Florida Statutes.

Ford, Armenteros & Fernandez, Inc.

LB #6557

Date: OCTOBER 18th, 2021



By: Ricardo Rodriguez, S.M., for the firm Professional Surveyor and Mapper State of Florida, Registration No. 5936

DDS PHASE ONE - TRANSFER PARCEL



FORD, ARMENTEROS & FERNANDEZ, INC.
1950 N.W. 94th AVENUE, 2nd FLOOR
MIAMI, FLORIDA 33172
PH. (305) 477-6472
FAX (305) 470-2805

TYPE OF PROJECT: SKETCH AND LEGAL DESCRIPTION		SHEET: 1 OF 3 SHEETS
SHEET NAME: LOCATION MAP AND SURVEYOR'S CERTIFICATE		
PREPARED FOR: CODINA PARTNERS		
DRAWN BY: R.RODRIGUEZ	DATE: OCTOBER 18th, 2021	
DWG. CHECKED BY:	SCALE: AS SHOWN	
CHECKED BY:	PROJECT No: 14H046-1000	

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A

B

LEGAL DESCRIPTION:

A portion of REVISED PLAT OF ORIZABA, according to the plat thereof as recorded in Plat Book 43, Page 71, of the Public Records of Miami-Dade County, Florida, and being more particularly described as follows:

1- COMMENCE at the Northwest corner of Tract A, of "WHITE VIEW SUBDIVISION", according to the plat thereof, as recorded in Plat Book 157, Page 18, of the Public Records of 1- Miami-Dade County, Florida, said point being on the arc of a circular curve to the left, concave to the Southwest, a radial line from said point bears S86°01'08"W; the next described four (4) courses and distances being along the Easterly Right-of-way line of NW 87th Avenue as shown on the plat of DORAL RIGHT-OF-WAY, according to the plat thereof, as recorded in Plat Book 104, at Page 93, of the Public Records of Miami-Dade County, Florida; 1) thence 2- Northerly along the arc of said curve, having for its elements a radius of 1949.86 feet, through a central angle of 03°05'02" for an arc distance of 104.95 feet to a point of tangency; 2) thence N07°03'54"W for a distance of 200.00 feet to a point of curvature of a circular curve to the right, concave to the East; 3) thence Northerly along the arc of said curve, having for its elements a radius of 1105.92 feet, through a central angle of 07°03'54" for an arc distance of 136.37 feet to a point of tangency; 4) thence North for a distance of 123.72 feet; the next four (4) courses and distances being along the East Right-of-way line 2- of NW 87th Avenue as shown on the plat of "DOWNTOWN DORAL SOUTH - PHASE ONE", according to the plat thereof as recorded in Plat Book 173, at Page 23, of the Public Records of Miami-Dade County, Florida; 1) thence N13°29'45"E for a distance of 51.42 feet; 2) thence North for a distance of 100.10 feet to the POINT OF BEGINNING of the following described Parcel of Land; 3) thence continue North for a distance of 100.04 feet; 4) thence N45°41'51"E for a distance of 34.92 feet to a point on a line 23.29 feet South of and parallel with the North line of the South 1/2, of the Northwest 1/4, of the Southwest 1/4 of Section 22, Township 53 South, Range 40 East, City of Doral, Miami-Dade County, Florida; thence S88°36'17"E, along the last described line for a distance of 360.51 feet to its intersection with the Westerly Right-of-way line of NW 85th Avenue, as shown on said plat of "DOWNTOWN DORAL SOUTH - PHASE ONE"; thence S01°23'43"W, along the last described 3- line for a distance of 125.00 feet; thence N88°36'17"W, along a line 148.29 feet South of and 3- parallel with the North line of the South 1/2, of the Northwest 1/4, of the Southwest 1/4 of said Section 22 for a distance of 382.57 feet to the POINT OF BEGINNING.

TOGETHER WITH:

A portion of that certain RIGHT-OF-WAY for N.W. 87th Avenue and N.W. 51st Terrace, Closed, Vacated and Discontinued from Public use by Resolution No. 21-002, being more particularly described as follows:

4- BEGIN at aforementioned POINT OF BEGINNING; the next three (3) courses and distances being along the East Right-of-way line of NW 87th Avenue as shown on the plat of "DOWNTOWN DORAL SOUTH - PHASE ONE", according to the plat thereof as recorded in Plat Book 173, at Page 4- 23, of the Public Records of Miami-Dade County, Florida; 1) thence continue NORTH for distance of 100.04 feet; 2) thence N45°41'51"E for a distance of 34.92 feet to a point on a line 23.29 feet South of and parallel with the said North line of the South 1/2, of the Northwest 1/4, of the Southwest 1/4 of said Section 22; 3) thence S88°36'17"E, along the last described line for a distance of 360.51 feet to its intersection with the Westerly Right-of-way line of NW 85th Avenue, as shown on said plat of "DOWNTOWN DORAL SOUTH - PHASE ONE"; thence N01°23'43"E, along the Northerly Extension of the last described line for a distance of 23.29 feet to its intersection with the said North line of the South 1/2, of the Northwest 1/4, of the Southwest 1/4 of said Section 22; thence N88°36'17"W, along the last described line for a distance of 398.18 feet to its intersection with said East Right-of-way Line of N.W. 87th AVENUE; thence SOUTH, along the last described Line for a distance of 5- 148.33 feet; thence S88°36'17"E for a distance of 12.00 feet to the POINT OF BEGINNING. 5-

ALL OF THE ABOVE DESCRIBED LAND CONTAINING 58,778 SQUARE FEET AND/OR 1.35 ACRES MORE OR LESS.

A

B

C

DDS PHASE ONE - TRANSFER PARCEL



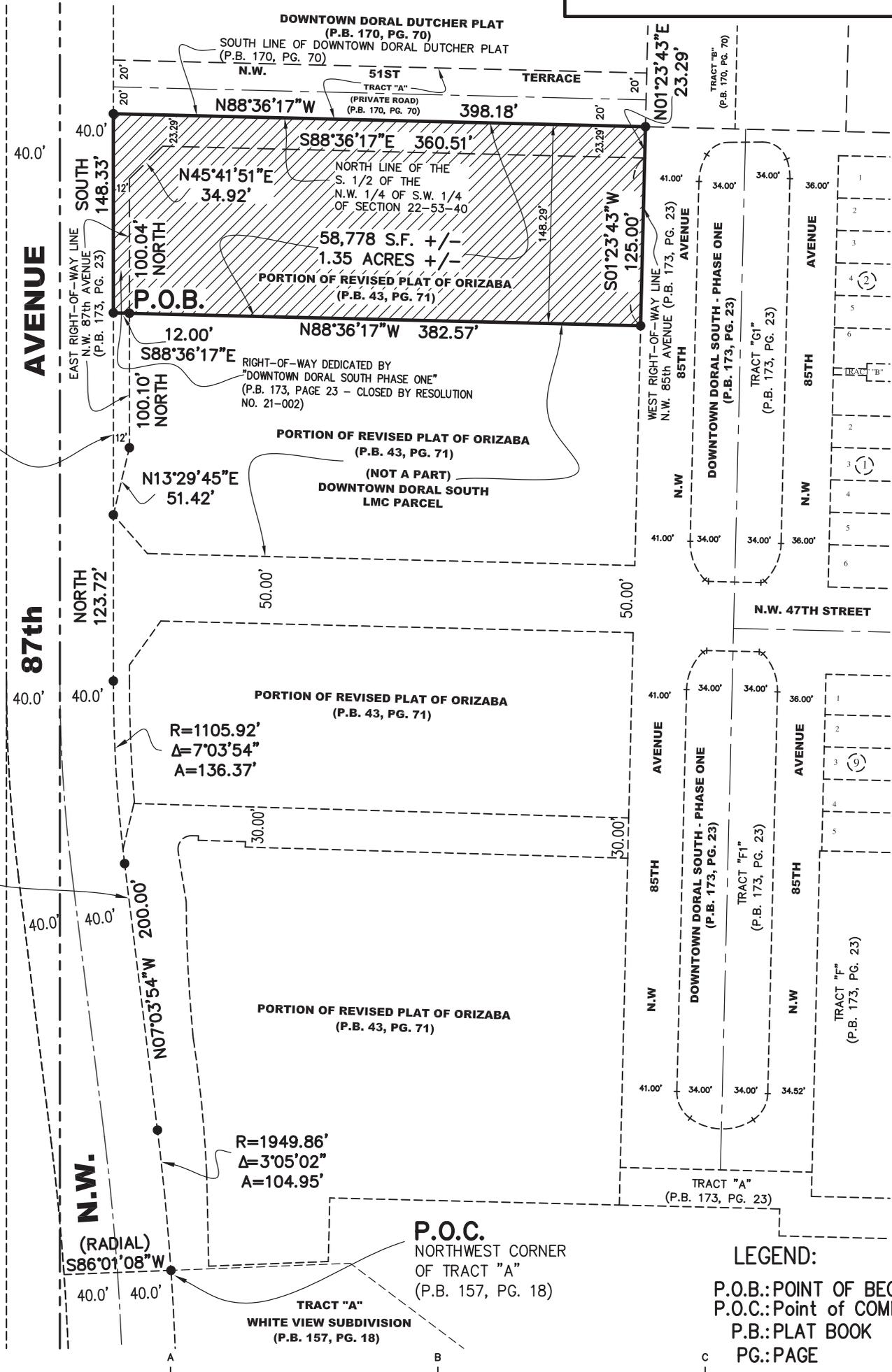
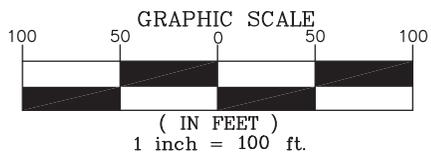
FORD, ARMENTEROS & FERNANDEZ, INC.
 1950 N.W. 94th AVENUE, 2nd FLOOR
 MIAMI, FLORIDA 33172
 PH. (305) 477-6472
 FAX (305) 470-2805

TYPE OF PROJECT:		SKETCH AND LEGAL DESCRIPTION	
SHEET NAME:		LEGAL DESCRIPTION TO ACCOMPANY SKETCH	
PREPARED FOR:		CODINA PARTNERS	
DRAWN BY:	R.RODRIGUEZ	DATE:	OCTOBER 18th, 2021
DWG. CHECKED BY:		SCALE:	N/A
CHECKED BY:		PROJECT No:	14H046-1000

2

OF 3 SHEETS

Q:\FORD COMPANIES\Engineering & Surveying\Survey\Sketch & Legal\14A046-1006 DOWNTOWN DORAL SOUTH\14H046-1000 DDS PHASE ONE - TRANSFER PARCEL 10-18-2021.dwg



DDS PHASE ONE - TRANSFER PARCEL



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TYPE OF PROJECT:		SKETCH AND LEGAL DESCRIPTION	
SHEET NAME:		SKETCH TO ACCOMPANY LEGAL DESCRIPTION	
PREPARED FOR:		CODINA PARTNERS	
DRAWN BY:	R.RODRIGUEZ	DATE:	OCTOBER 18th, 2021
DWG. CHECKED BY:		SCALE:	AS SHOWN
CHECKED BY:		PROJECT No:	14H046-1000
			<div style="font-size: 2em; font-weight: bold; margin: 0;">3</div> OF 3 SHEETS

EXHIBIT “C”

RECEIVED*By Stephanie Puglia at 3:40 pm, Nov 01, 2021***This Instrument was Prepared by:**

Tracy R. Slavens
 Holland & Knight LLP
 701 Brickell Avenue Suite 3000
 Miami, Florida 33131

**FIRST AMENDMENT TO AMENDED AND RESTATED MASTER DEVELOPMENT
 AGREEMENT FOR DOWNTOWN DORAL SOUTH**

This First Amendment (the “First Amendment”) to the Amended and Restated Master Development Agreement is made as of the ___ day of _____, 2021, by and between CC HOMES AT DORAL, LLC, a Florida limited liability company, WHITE COURSE LENNAR, LLC, a Florida limited liability company, and CC-WCD TIC, LLC, a Delaware limited liability company (collectively, the “Developers”), and the CITY OF DORAL, FLORIDA, a Florida municipal corporation (the “City”). The Developers and the City may be referred to individually as a “Party” or collectively as the “Parties.”

RECITALS

WHEREAS, the Developers are the owners of those certain parcels of land located within the boundaries of the City commonly known as Downtown Doral South, the legal description of which is attached hereto and made a part hereof as Exhibit 1 (the “Existing DDS Property”);

WHEREAS, the Developers and the City are Parties to the Amended and Restated Master Development Agreement dated November 2, 2016, and recorded in Official Records Book 30296 at Page 1525 in the Public Records of Miami-Dade County, Florida (the “Master Development Agreement”);

WHEREAS, the Master Development Agreement was entered into and recorded in connection with the approval of the development of the project known as Downtown Doral South, a mixed-use urban center Downtown Mixed Use Planned Unit Development (PUD);

WHEREAS, the City has adopted Land Development Regulations which assigned Downtown Mixed Use (DMU) zoning to the Existing DDS Property, which regulations currently govern the Existing DDS Property;

WHEREAS, Paragraph 19 of the Master Development Agreement states that the Master Development Agreement may be modified by a written instrument signed by the City and the Developer after public hearing;

WHEREAS, the Developers desire to transfer ±1.35 acres of land, as legally described in Exhibit 2 attached hereto and made a part hereof (the “Transfer Property”), and the square footage assigned to it from the Downtown Doral South DMU to the Downtown Doral DMU;

WHEREAS, as a result of the redesignation of the Transfer Property to Downtown Doral DMU the Developers seek to amend the Master Development Agreement to modify paragraph 5 a), entitled “Permitted Development Uses” and Exhibit “A,” entitled “Legal Description of Property”;

WHEREAS, this Amendment to the Master Development Agreement was modified by City of Doral City Council pursuant to Ordinance No. 2021-_____ on _____ (the “Amended Approval”); and

WHEREAS, the approval of this First Amendment to the Master Development Agreement was issued following a recommendation by the City’s Land Planning Agency on _____, first reading by the City Council on _____, and second reading by the City Council on _____; and

WHEREAS, the Developer and the City desire to modify certain terms and provisions of the Master Development Agreement pursuant to the Amended Approval as hereinafter set forth.

NOW, THEREFORE, in consideration of the premises and the mutual covenants herein contained and for other good and valuable consideration, the receipt and adequacy of which is hereby acknowledged, the Parties hereto agree to amend the Master Development Agreement as follows:

A. Recitals. The Recitals are true and correct and incorporated herein by reference and made a part hereof.

B. Capitalized Terms. Capitalized terms used herein and not otherwise defined herein shall have the meaning provided in the Master Development Agreement.

C. Paragraph 5 a) of the Master Development Agreement, entitled “Permitted Development Uses” is hereby amended to read as follows:

a) Permitted Development Uses. The Project Approvals are the binding development guidelines for the Property. A list of the documents which comprise the Project Approvals are attached hereto as Exhibit D. The official Project Approval documents are on file with the City. In granting the Project Approvals, the City Council has determined that the Project meets the creative excellence standards set forth by Chapter 86, Article IV of the Land Development Regulations. The following table provides the development program approved by the City (the “Initial Adopted Development Program”), as amended by this First Amendment (the “Amended Development Program”):

Use	Amended and Restated Program (as approved by Ordinance No. 2016-18)	Modified Amended and Restated Program Including Transfers and Conversions (pursuant to Notice and Acknowledgement Satisfying School Obligation and Mutual Agreement with City of Doral dated March 6, 2018)	2021 Transfer of Entitlements Assigned to Property	First Amended and Restated Program (as approved by Ordinance No. 2021-___)***
Residential Dwelling Units	2,209 d.u.	2,599 d.u.*		2,599 d.u.
Retail/Commercial/Restaurant	30,000 s.f.	30,000 s.f.		30,000 s.f.
Office	150,000 s.f.	135,000 s.f.	- 15,000 s.f.	120,000 s.f.
Performing and Visual Arts Auditorium/Civic	Up to 7 acres	Up to 7 acres		Up to 7 acres
Upper School (grades 6-12)	1,300 student stations	0**		0
Publicly Accessible Recreational Land	+/-7. 6 acres	+/-7. 6 acres		+/-7. 6 acres

* this includes a conversion of 1,300 students from the Upper School use to Residential use.

** this includes a reduction of 1,300 students to increase Residential use.

*** includes the reduction in entitlements as a result of the annexation of the Property to the Downtown Doral DMU.

D. Exhibit “A” of the Master Development Agreement, entitled “Legal Description of Property” is hereby amended as provided in Exhibit 3 hereto and made a part hereof.

E. Except as modified and amended hereby the terms and provisions of the Amended and Restated Master Development Agreement are hereby ratified and confirmed and shall remain in full force and effect.

[Signature pages follow.]

IN WITNESS WHEREOF, the parties have executed this Agreement as of the day and year first above written.

CITY:

ATTEST:

CITY OF DORAL, FLORIDA

City Clerk

By: _____

Name: _____

Title: _____

_____ day of _____, 2021

Approved as to form and legality
By office of City Attorney for
The City of Doral, Florida

City Attorney

WITNESSES:

DEVELOPER:

**CC Homes at Doral, LLC,
a Delaware limited liability company**

Signature

Print Name

By: _____

Signature

Title: _____

Print Name

STATE OF FLORIDA)
)
COUNTY OF MIAMI-DADE)

SS.

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this _____ day of _____, 2021, by _____, as _____ of CC Homes at Doral, LLC, a Delaware limited company, on behalf of the company, who is personally known to me or who has produced _____ as identification.

[NOTARIAL SEAL]

Print Name: _____
Notary Public, State of Florida
Commission #: _____
My Commission Expires: _____

WITNESSES:

DEVELOPER:

**White Course Lennar, LLC,
a Florida limited liability company**

Signature

Print Name

By: _____

Signature

Title: _____

Print Name

STATE OF FLORIDA)

) SS.

COUNTY OF MIAMI-DADE)

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this _____ day of _____, 2021, by _____, as _____ of White Course Lennar, LLC, a Florida limited company, on behalf of the company, who is personally known to me or who has produced _____ as identification.

[NOTARIAL SEAL]

Print Name: _____

Notary Public, State of Florida

Commission #:

My Commission Expires: _____

WITNESSES:

DEVELOPER:

**CC-WCD TIC, LLC,
a Delaware limited liability company**

Signature

Print Name

By: _____

Signature

Title: _____

Print Name

STATE OF FLORIDA)
)
COUNTY OF MIAMI-DADE)

SS.

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this _____ day of _____, 2021, by _____, as _____ of CC-WCD TIC, LLC, a Delaware limited company, on behalf of the company, on behalf of the company, who is personally known to me or who has produced _____ as identification.

[NOTARIAL SEAL]

Print Name: _____
Notary Public, State of Florida
Commission #:
My Commission Expires: _____

EXHIBIT "1"

LEGAL DESCRIPTION OF EXISTING DDS PROPERTY

The Southeast quarter (S.E. 1/4) of the Southwest quarter (S.W. 1/4) and the Southwest quarter (S.W. 1/4) of the Southeast quarter (S.E. 1/4) and the Southwest quarter (S.W. 1/4) of the Southwest quarter (S.W. 1/4) of Section 22, Township 53 South, Range 40 East, Dade County, Florida.

TOGETHER WITH:

The South half (S. 1/2) of the Northwest quarter (N.W. 1/4) of the Southwest quarter (S.W. 1/4) and the South half (S. 1/2) of the Northeast quarter (N.E. 1/4) of the Southwest quarter (S.W. 1/4) and the South half (S. 1/2) of the Northwest quarter (N.W. 1/4) of the Southeast quarter (S.E. 1/4), all in Section 22, Township 53 South, Range 40 East, Dade County, Florida.

LESS:

The Southeast quarter (S.E. 1/4) of the Northwest quarter (N.W. 1/4) of the Southeast quarter (S.E. 1/4) of Section 22, Township 53 South, Range 40 East, Dade County, Florida.

ALSO LESS:

The East half (E. 1/2) of the Southwest quarter (S.W. 1/4) of the Southeast quarter (S.E. 1/4) of Section 22, Township 53 South, Range 40 East, Dade County, Florida.

ALSO LESS:

The South 80 feet of the Southwest quarter (S.W. 1/4) of Section 22, Township 53 South, Range 40 East, Dade County, Florida.

ALSO LESS:

The South 80 feet of the West half (W. 1/2) of the Southwest quarter (S.W. 1/4) of the Southeast quarter (S.E. 1/4) of Section 22, Township 53 South, Range 40 East, Dade County, Florida.

ALSO LESS:

That portion of the Plat of DORAL RIGHT OF WAY, according to the Plat thereof as recorded in Plat Book 104, Page 93, of the Public Records of Dade County, Florida, lying East of the West line of the Southwest quarter (S.W. 1/4) of Section 22, Township 53 South, Range 40 East, Dade County, Florida.

ALSO LESS:

A Parcel of land lying in the S.W. 1/4 of Section 22, Township 53 South, Range 40 East, being more particularly described as follows:

COMMENCE at the southwest corner of said Section 22; thence run North, along the west line of the S.W. 1/4 of said Section 22 and along the centerline of N.W. 87th Avenue as shown on the plat of DORAL RIGHT OF WAY, Plat Book 104, Page 93, for a distance of 103.05 feet to a point; thence run East for a distance of 40.00 feet to a point on the east right-of-way line of said N.W. 87th Avenue and the POINT OF BEGINNING of the following described parcel of land; thence run North, along said easterly right-of-way line of N.W. 87th Avenue, for a distance of 206.95 feet to the point of curvature of a circular curve to the right having a radius of 1,869.86 feet; thence run Northeasterly, along said east right-of-way line of N.W. 87th Avenue and along the arc of said curve for a distance of 183.57 feet, through a central angle of 5°37'30" to the point of tangency; thence run North 05°37'30" East, along said east right-of-way line of N. W. 87th Avenue, for a distance of 300.00 feet to the point of curvature of a circular curve to the left having a radius of 1,949.86 feet; thence run Northerly, along said east right-of-way line of N.W. 87th Avenue and along the arc of said curve, for a distance of 326.91 feet, through a central angle of 9°36'22" to a point; thence run North 87°45'52" East for a distance of 134.24 feet to a point; thence run South 53°14'24" East for a distance of 200.00 feet to a point; thence run South 01°45'36" West for a distance of 665.00 feet to a point; thence run South 88°14'24" East for a distance of 630.00 feet to a point; thence run North 01°45'36" East for a distance of 239.29 feet to a point; thence run North 78°45'36" East for a distance of 75.00 feet to a point; thence run South 11°14'24" East for a distance of 540.00 feet to a point on the north right-of-way line of N.W. 41st Street; thence run North 88°14'24" West, along the north right-of-way line of N.W. 41st Street and along the line parallel to and 80.00 feet North of the south line of the S.W. 1/4 of said Section 22, for a distance of, 1,109.20 feet to the point of curvature of a circular curve to the right having a radius of 25.00 feet; thence run Northwesterly, along the east right-of-way line of the aforementioned N.W. 87th Avenue and along the arc of said curve, for a distance of 38.50 feet, through a central angle of 88°14'24" to the point of tangency and the POINT OF BEGINNING.

Said lands lying in Dade County, Florida, containing 130.15 acres more or less.

EXHIBIT "2"

LEGAL DESCRIPTION OF TRANSFER PROPERTY

A portion of REVISED PLAT OF ORIZABA, according to the plat thereof as recorded in Plat Book 43, Page 71, of the Public Records of Miami-Dade County, Florida, and being more particularly described as follows:

COMMENCE at the Northwest corner of Tract A, of "WHITE VIEW SUBDIVISION", according to the plat thereof, as recorded in Plat Book 157, Page 18, of the Public Records of Miami-Dade County, Florida, said point being on the arc of a circular curve to the left, concave to the Southwest, a radial line from said point bears S86°01'08"W; the next described four (4) courses and distances being along the Easterly Right-of-way line of NW 87th Avenue as shown on the plat of DORAL RIGHT-OF-WAY, according to the plat thereof, as recorded in Plat Book 104, at Page 93, of the Public Records of Miami-Dade County, Florida; 1) thence Northerly along the arc of said curve, having for its elements a radius of 1949.86 feet, through a central angle of 03°05'02" for an arc distance of 104.95 feet to a point of tangency; 2) thence N07°03'54"W for a distance of 200.00 feet to a point of curvature of a circular curve to the right, concave to the East; 3) thence Northerly along the arc of said curve, having for its elements a radius of 1105.92 feet, through a central angle of 07°03'54" for an arc distance of 136.37 feet to a point of tangency; 4) thence North for a distance of 123.72 feet; the next four (4) courses and distances being along the East Right-of-way line of NW 87th Avenue as shown on the plat of "DOWNTOWN DORAL SOUTH - PHASE ONE", according to the plat thereof as recorded in Plat Book 173, at Page 23, of the Public Records of Miami-Dade County, Florida; 1) thence N13°29'45"E for a distance of 51.42 feet; 2) thence North for a distance of 100.10 feet to the POINT OF BEGINNING of the following described Parcel of Land; 3) thence continue North for a distance of 100.04 feet; 4) thence N45°41'51"E for a distance of 34.92 feet to a point on a line 23.29 feet South of and parallel with the North line of the South 1/2, of the Northwest 1/4, of the Southwest 1/4 of Section 22, Township 53 South, Range 40 East, City of Doral, Miami-Dade County, Florida; thence S88°36'17"E, along the last described line for a distance of 360.51 feet to its intersection with the Westerly Right-of-way line of NW 85th Avenue, as shown on said plat of "DOWNTOWN DORAL SOUTH - PHASE ONE"; thence S01°23'43"W, along the last described line for a distance of 125.00 feet; thence N88°36'17"W, along a line 148.29 feet South of and parallel with the North line of the South 1/2, of the Northwest 1/4, of the Southwest 1/4 of said Section 22 for a distance of 382.57 feet to the POINT OF BEGINNING.

TOGETHER WITH:

A portion of that certain RIGHT-OF-WAY for N.W. 87th Avenue and N.W. 51st Terrace, Closed, Vacated and Discontinued from Public use by Resolution No. 21-002, being more particularly described as follows:

BEGIN at aforementioned POINT OF BEGINNING; the next three (3) courses and distances being along the East Right-of-way line of NW 87th Avenue as shown on the plat of "DOWNTOWN DORAL SOUTH - PHASE ONE", according to the plat thereof as recorded in Plat Book 173, at Page 23, of the Public Records of Miami-Dade County, Florida; 1) thence continue NORTH for distance of 100.04 feet; 2) thence N45°41'51"E for a distance of 34.92 feet to a point on a line 23.29 feet South of and parallel with the said North line of the South 1/2, of

the Northwest 1/4, of the Southwest 1/4 of said Section 22; 3) thence S88°36'17"E, along the last described line for a distance of 360.51 feet to its intersection with the Westerly Right-of-way line of NW 85th Avenue, as shown on said plat of "DOWNTOWN DORAL SOUTH - PHASE ONE"; thence N01°23'43"E, along the Northerly Extension of the last described line for a distance of 23.29 feet to its intersection with the said North line of the South 1/2, of the Northwest 1/4, of the Southwest 1/4 of said Section 22; thence N88°36'17"W, along the last described line for a distance of 398.18 feet to its intersection with said East Right-of-way Line of N.W. 87th AVENUE; thence SOUTH, along the last described Line for a distance of 148.33 feet; thence S88°36'17"E for a distance of 12.00 feet to the POINT OF BEGINNING.

ALL OF THE ABOVE DESCRIBED LAND CONTAINING 58,778 SQUARE FEET AND/OR 1.35 ACRES MORE OR LESS.

EXHIBIT “3”

AMENDED EXHIBIT A TO MASTER DEVELOPMENT AGREEMENT
LEGAL DESCRIPTION OF PROPERTY

[AMENDED EXHIBIT A FOLLOWS]

EXHIBIT A

LEGAL DESCRIPTION OF PROPERTY

The Southeast quarter (S.E. 1/4) of the Southwest quarter (S.W. 1/4) and the Southwest quarter (S.W. 1/4) of the Southeast quarter (S.E. 1/4) and the Southwest quarter (S.W. 1/4) of the Southwest quarter (S.W. 1/4) of Section 22, Township 53 South, Range 40 East, Dade County, Florida.

TOGETHER WITH:

The South half (S. 1/2) of the Northwest quarter (N.W. 1/4) of the Southwest quarter (S.W. 1/4) and the South half (S. 1/2) of the Northeast quarter (N.E. 1/4) of the Southwest quarter (S.W. 1/4) and the South half (S. 1/2) of the Northwest quarter (N.W. 1/4) of the Southeast quarter (S.E. 1/4), all in Section 22, Township 53 South, Range 40 East, Dade County, Florida.

LESS:

A portion of REVISED PLAT OF ORIZABA, according to the plat thereof as recorded in Plat Book 43, Page 71, of the Public Records of Miami-Dade County, Florida, and being more particularly described as follows:

COMMENCE at the Northwest corner of Tract A, of "WHITE VIEW SUBDIVISION", according to the plat thereof, as recorded in Plat Book 157, Page 18, of the Public Records of Miami-Dade County, Florida, said point being on the arc of a circular curve to the left, concave to the Southwest, a radial line from said point bears S86°01'08"W; the next described four (4) courses and distances being along the Easterly Right-of-way line of NW 87th Avenue as shown on the plat of DORAL RIGHT-OF-WAY, according to the plat thereof, as recorded in Plat Book 104, at Page 93, of the Public Records of Miami-Dade County, Florida; 1) thence Northerly along the arc of said curve, having for its elements a radius of 1949.86 feet, through a central angle of 03°05'02" for an arc distance of 104.95 feet to a point of tangency; 2) thence N07°03'54"W for a distance of 200.00 feet to a point of curvature of a circular curve to the right, concave to the East; 3) thence Northerly along the arc of said curve, having for its elements a radius of 1105.92 feet, through a central angle of 07°03'54" for an arc distance of 136.37 feet to a point of tangency; 4) thence North for a distance of 123.72 feet; the next four (4) courses and distances being along the East Right-of-way line of NW 87th Avenue as shown on the plat of "DOWNTOWN DORAL SOUTH - PHASE ONE", according to the plat thereof as recorded in Plat Book 173, at Page 23, of the Public Records of Miami-Dade County, Florida; 1) thence N13°29'45"E for a distance of 51.42 feet; 2) thence North for a distance of 100.10 feet to the POINT OF BEGINNING of the following described Parcel of Land; 3) thence continue North for a distance of 100.04 feet; 4) thence N45°41'51"E for a distance of 34.92 feet to a point on a line 23.29 feet South of and parallel with the North line of the South 1/2, of the Northwest 1/4, of the Southwest 1/4 of Section 22, Township 53 South, Range 40 East, City of Doral, Miami-Dade County, Florida; thence S88°36'17"E, along the last described line for a distance of 360.51 feet to its intersection with the Westerly Right-of-way line of NW 85th Avenue, as shown on said plat of "DOWNTOWN DORAL SOUTH - PHASE ONE"; thence S01°23'43"W, along the last described line for a distance of 125.00 feet; thence N88°36'17"W, along a line 148.29 feet South of and parallel with

the North line of the South 1/2, of the Northwest 1/4, of the Southwest 1/4 of said Section 22 for a distance of 382.57 feet to the POINT OF BEGINNING.

TOGETHER WITH:

A portion of that certain RIGHT-OF-WAY for N.W. 87th Avenue and N.W. 51st Terrace, Closed, Vacated and Discontinued from Public use by Resolution No. 21-002, being more particularly described as follows:

BEGIN at aforementioned POINT OF BEGINNING; the next three (3) courses and distances being along the East Right-of-way line of NW 87th Avenue as shown on the plat of "DOWNTOWN DORAL SOUTH - PHASE ONE", according to the plat thereof as recorded in Plat Book 173, at Page 23, of the Public Records of Miami-Dade County, Florida; 1) thence continue NORTH for distance of 100.04 feet; 2) thence N45°41'51"E for a distance of 34.92 feet to a point on a line 23.29 feet South of and parallel with the said North line of the South 1/2, of the Northwest 1/4, of the Southwest 1/4 of said Section 22; 3) thence S88°36'17"E, along the last described line for a distance of 360.51 feet to its intersection with the Westerly Right-of-way line of NW 85th Avenue, as shown on said plat of "DOWNTOWN DORAL SOUTH - PHASE ONE"; thence N01°23'43"E, along the Northerly Extension of the last described line for a distance of 23.29 feet to its intersection with the said North line of the South 1/2, of the Northwest 1/4, of the Southwest 1/4 of said Section 22; thence N88°36'17"W, along the last described line for a distance of 398.18 feet to its intersection with said East Right-of-way Line of N.W. 87th AVENUE; thence SOUTH, along the last described Line for a distance of 148.33 feet; thence S88°36'17"E for a distance of 12.00 feet to the POINT OF BEGINNING.

ALSO LESS:

The Southeast quarter (S.E. 1/4) of the Northwest quarter (N.W. 1/4) of the Southeast quarter (S.E. 1/4) of Section 22, Township 53 South, Range 40 East, Dade County, Florida.

ALSO LESS:

The East half (E. 1/2) of the Southwest quarter (S.W. 1/4) of the Southeast quarter (S.E. 1/4) of Section 22, Township 53 South, Range 40 East, Dade County, Florida.

ALSO LESS:

The South 80 feet of the Southwest quarter (S.W. 1/4) of Section 22, Township 53 South, Range 40 East, Dade County, Florida.

ALSO LESS:

The South 80 feet of the West half (W. 1/2) of the Southwest quarter (S.W. 1/4) of the Southeast quarter (S.E. 1/4) of Section 22, Township 53 South, Range 40 East, Dade County, Florida.

ALSO LESS:

That portion of the Plat of DORAL RIGHT OF WAY, according to the Plat thereof as recorded in Plat Book 104, Page 93, of the Public Records of Dade County, Florida, lying East of the West line of the Southwest quarter (S.W. 1/4) of Section 22, Township 53 South, Range 40 East, Dade County, Florida.

ALSO LESS:

A Parcel of land lying in the S.W. 1/4 of Section 22, Township 53 South, Range 40 East, being more particularly described as follows:

COMMENCE at the southwest corner of said Section 22; thence run North, along the west line of the S.W. 1/4 of said Section 22 and along the centerline of N.W. 87th Avenue as shown on the plat of DORAL RIGHT OF WAY, Plat Book 104, Page 93, for a distance of 103.05 feet to a point; thence run East for a distance of 40.00 feet to a point on the east right-of-way line of said N.W. 87th Avenue and the POINT OF BEGINNING of the following described parcel of land; thence run North, along said easterly right-of-way line of N.W. 87th Avenue, for a distance of 206.95 feet to the point of curvature of a circular curve to the right having a radius of 1,869.86 feet; thence run Northeasterly, along said east right-of-way line of N.W. 87th Avenue and along the arc of said curve for a distance of 183.57 feet, through a central angle of 5°37'30" to the point of tangency; thence run North 05°37'30" East, along said east right-of-way line of N. W. 87th Avenue, for a distance of 300.00 feet to the point of curvature of a circular curve to the left having a radius of 1,949.86 feet; thence run Northerly, along said east right-of-way line of N.W. 87th Avenue and along the arc of said curve, for a distance of 326.91 feet, through a central angle of 9°36'22" to a point; thence run North 87°45'52" East for a distance of 134.24 feet to a point; thence run South 53°14'24" East for a distance of 200.00 feet to a point; thence run South 01°45'36" West for a distance of 665.00 feet to a point; thence run South 88°14'24" East for a distance of 630.00 feet to a point; thence run North 01°45'36" East for a distance of 239.29 feet to a point; thence run North 78°45'36" East for a distance of 75.00 feet to a point; thence run South 11°14'24" East for a distance of 540.00 feet to a point on the north right-of-way line of N.W. 41st Street; thence run North 88°14'24" West, along the north right-of-way line of N.W. 41st Street and along the line parallel to and 80.00 feet North of the south line of the S.W. 1/4 of said Section 22, for a distance of, 1,109.20 feet to the point of curvature of a circular curve to the right having a radius of 25.00 feet; thence run Northwesterly, along the east right-of-way line of the aforementioned N.W. 87th Avenue and along the arc of said curve, for a distance of 38.50 feet, through a central angle of 88°14'24" to the point of tangency and the POINT OF BEGINNING.

Said lands lying in Dade County, Florida, containing 128.80 acres more or less.

EXHIBIT “D”

RECEIVED
By Stephanie Puglia at 3:40 pm, Nov 01, 2021

PATTERN BOOK

Downtown Doral South



OCTOBER 2021



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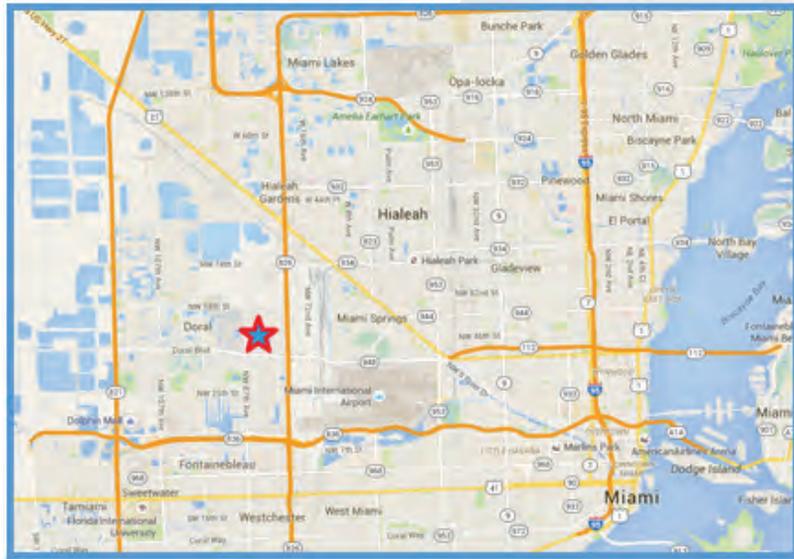
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General Project Information

CHAPTER 1

1.0 General Project Information



1.1 Project Location

Downtown Doral South consists of the 128.80-acre property ("Property") generally located north of NW 41st Street, east of NW 87th Avenue, west of theoretical NW 80th Avenue, and south of Downtown Doral in the City of Doral, Florida. The legal description of the Property is attached as Attachment 1 to this Pattern Book.

1.2 Background Information

The Property, a former golf course known as the Great White, is currently designated Downtown Mixed Use ("DMU") on the Future Land Use Map of the City of Doral Comprehensive Development Master Plan and is zoned DMU, after receiving an approval for its redevelopment pursuant to City of Doral Ordinance Number 2012-09, adopted by the City of Doral on March 28, 2012 (the "Original DMU Approval"). The Original DMU Approval authorized development of a project known as The White Course, which authorized the development of the following:

Original DMU Approval

USE	PROGRAM
Retail/Restaurant	160,748 s.f. gla
Office	850,805 s.f. gla
Residential	2709 dwelling units
Civic/Municipal	164,790s.f.gla
Public Recreation Area / Amphitheater	10.1 Acres
School	2.5 Acres

As part of the Original DMU Approval, the City of Doral and then Owner/Developer of the Property (MSR Resort Hotel, L.P.) entered into a Master Development Agreement recorded in Official Records Book 28099 at Page 22 of the official records of Miami Dade County, Florida (the "Original MDA").

This document proposes to modify the Original DMU Approval and the Original MDA to (i) facilitate the development of Downtown Doral South with the program detailed in this Pattern Book, as specifically outlined in Section 1.3, and in accordance with the design criteria provided in this document, and (ii) provided for an Amended and Restated Master Development Agreement for Downtown Doral

1.3 Pattern Book

This pattern book, along with the Amended and Restated Master Development Agreement for Downtown Doral South, shall constitute the express and exclusive Urban Design Guidelines and Conceptual Development Plan for the development of the Property to be known as Downtown Doral South ("Project"). Their contents are intended to establish an urban vocabulary that illustrate and establish the urban design and appearance of the Project and to meet the requirements of sections 68-707. The Downtown Doral South development program contemplates a change from the development program for the Original DMU Approval, as follows:

Downtown Doral South Development Program	
USE	PROGRAM
Retail/Restaurant	30,000 s.f. gla
Office	120,000 s.f. gla
Residential	2,599 dwelling units
Publicly Accessible Rec. Area	7.6 acres
Performing and Visual Arts Auditorium/School	+/- 7 Acres

Certain graphics contained within this Pattern Book show the relationship between Downtown Doral and Downtown Doral South. Please note that those graphics are intended to provide an understanding of the relationship between the two projects, but should not be construed as binding upon the Downtown Doral project. These graphics, however, shall be considered as part of the land development regulations associated with Downtown Doral South. Included in this Pattern Book are the following:

- a. A statement of the general design the Project
- b. Pedestrian and vehicular circulation
- c. Streetscapes plans and controls
- d. Detailed controls for the scale and proportion of the built form
- e. Detailed controls for the scale and design of the open space
- f. Parking lot design and traffic controls
- g. Overall landscape controls
- h. Architectural design guidelines
- i. Conceptual Development Plan

1.4 Amended & Restated Master Development Agreement

As noted above, Downtown Doral South is to be developed in accordance with this Pattern Book and Amended and Restated Master Development Agreement for Downtown Doral South, which is intended to be adopted in a manner consistent with the previously approved Original MDA, pursuant to Chapter 163, Florida Statutes and section 68-708 of the City of Doral Land Development Regulations.

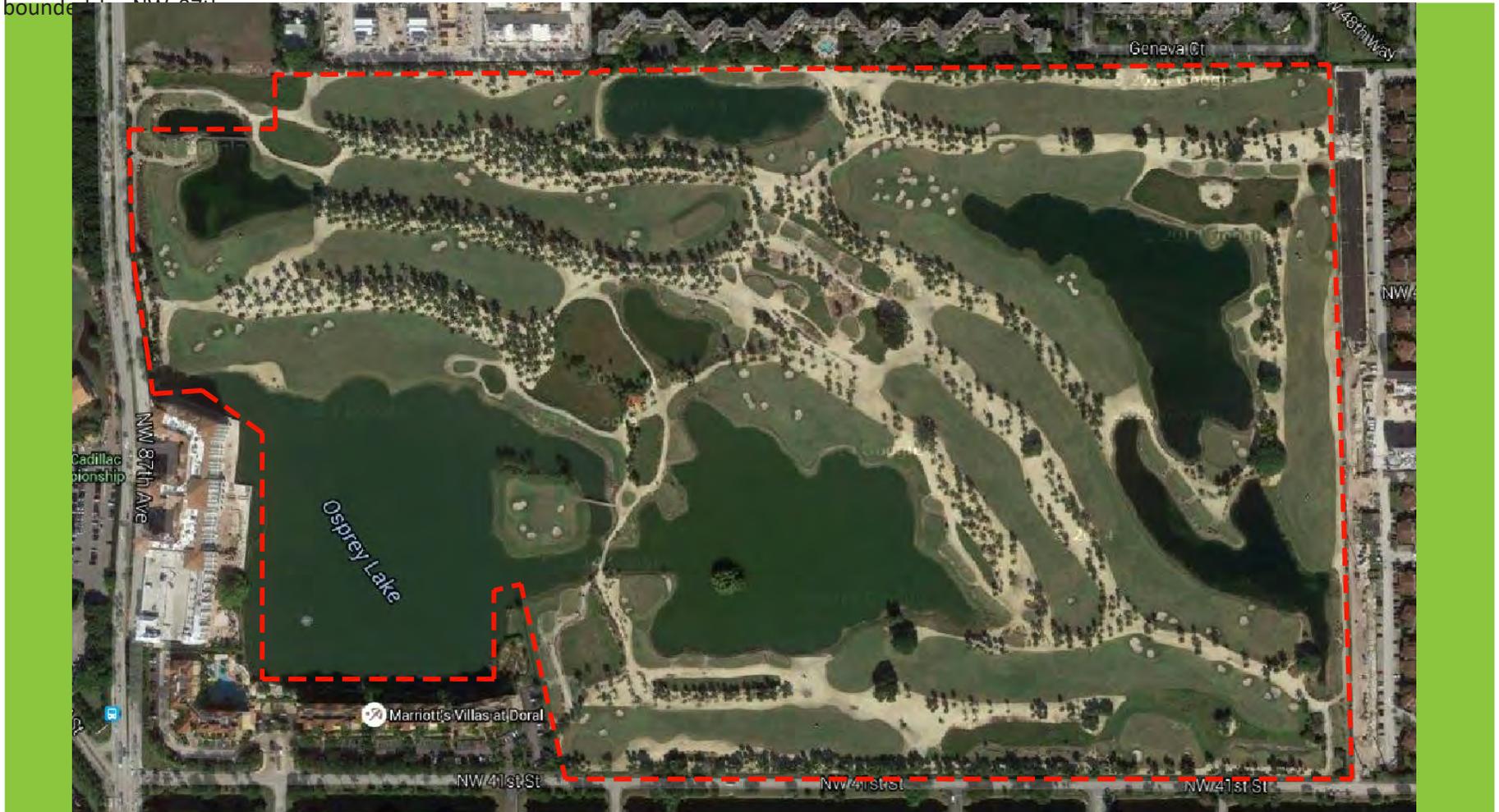
*Residential users may include and not be limited to various housing options including single-family and multi-family units in various forms of tenancy.

1.5 Description of Property & Existing Aerial View

The 128.80-acre Downtown Doral South site is located in the City of Doral, Florida. Until recently, the property operated as a golf course, with the predominant feature being the coquina-sand rough areas. Downtown Doral South is adjacent to the Downtown Doral mixed-use project, to the northwest of the existing site. To the west, it is bounded by NW 87th Avenue (4-lane divided roadway).

Avenue (4-lane divided roadway).

A large lake borders the site to the southwest, across which are visible several mid-rise resort and multi-family buildings. The southern boundary of the site is NW 41st Street (2-lane roadway) and the Dressel's Dairy Canal. To the east and northeast, existing multi-family dwellings border the site.



1.6 Comprehensive Plan Compliance

Downtown Doral South was designed to enhance design excellence by exceeding the minimum standards contained in the City of Doral Comprehensive Plan and Land Development Code, as highlighted below:

GREEN ELEMENT POLICIES:

- Promote viable mixed use development
- Place higher densities closer to transit stops, exceeding the minimum transit viability density of 7 units per acre
- Integrate pedestrian and bicycle facilities into the project, including access to adjacent bike paths (per the Bikeway Network Plan) and installation of secure bike racks
- Reduce surface 'heat islands' by reducing parking fields
- Preserve and increase the tree canopy coverage by providing landscaped open spaces
- Provide multi-story, cluster housing
- Conserve water conservation by installing automatic irrigation systems with rain sensors
- Land Use Element policies:
- Provide more than the minimum 10% landscaped open space--(Policy 2.1.1)
- Provide a public road system throughout the project, with multiple connections to separate links of the surrounding public road system--(Policy 2.1.10)
- Discourage sprawl by encouraging compact development, mixed uses, and efficient use of public resources, while protecting single-family neighborhoods--(Policy 2.1.13)
- For townhouses, provide a fee simple ownership structure; garages, ample parks and open spaces, and a well-landscaped, architecturally pleasing façade (Policy 2.2.9)
- Help the Miami-Dade County School Board provide the high-quality elementary and secondary education facilities and resources necessary to fully meet the future needs of Doral's population(Objective 2.4)
- Solar Reflective Index
- Stormwater Retention
- Low Impact Development Principles

TRANSPORTATION ELEMENT POLICIES:

- Implement recommendations of the Doral 2010 Transportation Master Plan
- Ensure safe, convenient on-site traffic flow--(Policy 3.1.3)
- Provide a safe, convenient, continuous, and comfortable pedestrian environment--(Objective 3.4)

HOUSING ELEMENT POLICIES:

- Promote a balance of housing types, densities, and ownership opportunities--(Policy 4.1.4)
- Encourage TND features such as live-work units and single-room occupancy and accessory apartments--(Policy 4.1.7)

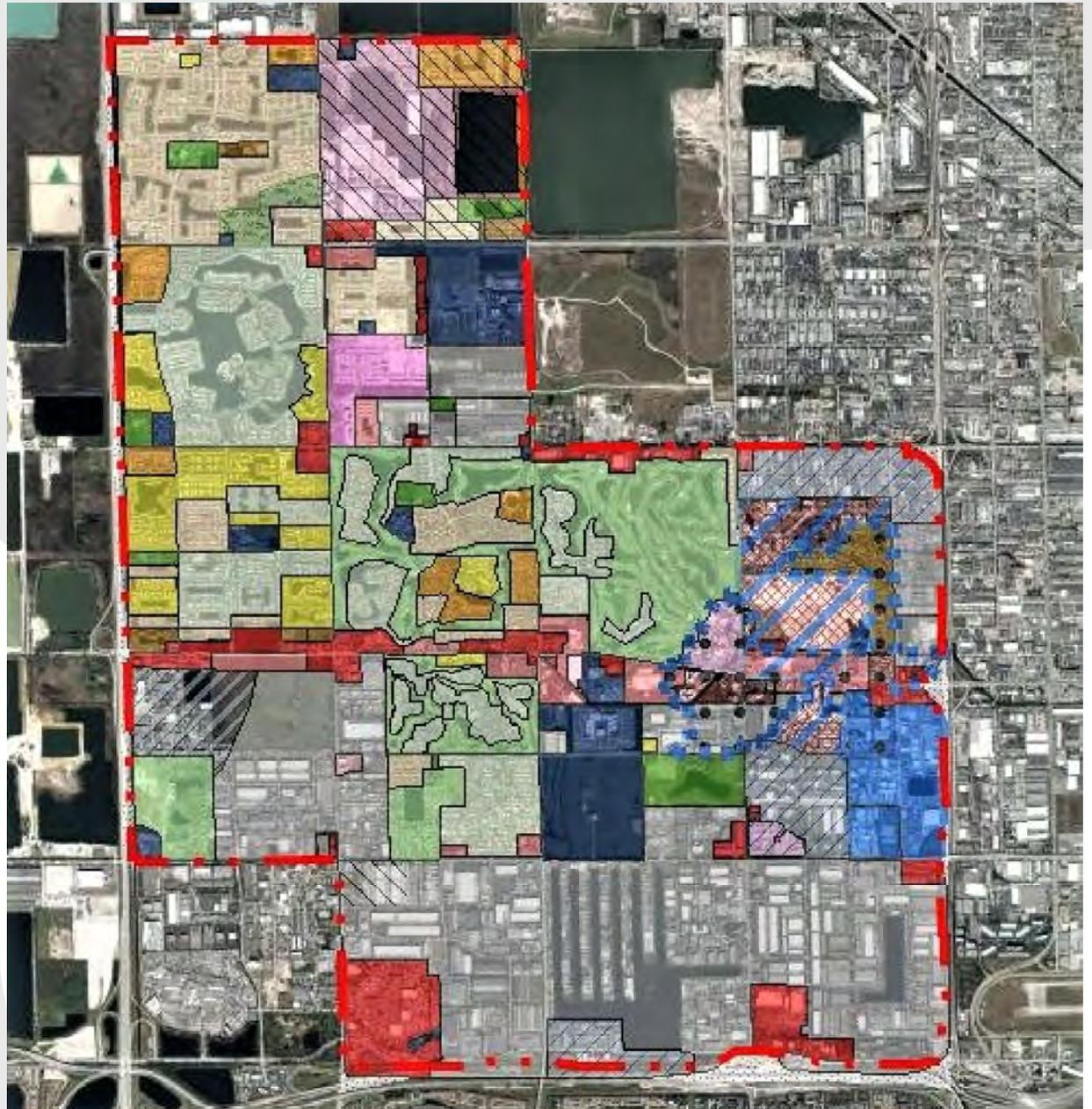
PARKS AND RECREATION ELEMENT POLICIES:

- Provide at least 50% of its parks LOS impacts on-site as developed public parks and open space--(Policy 7.1.2)
- Encourage an increased sense of community by providing an amphitheater--(Policy 7.1.7)
- Provide bike racks/public parking near open spaces and recreational areas--(Objective 7.2)

LAND DEVELOPMENT CODE REQUIREMENTS:

- Exceed minimum pedestrian access way widths--(Ch. 77, Art. II)
- Provide public artwork at no cost to the City --(Ch. 75)
- Exceed minimum landscape requirements in all areas--(Ch. 71, Art. V1)

1.7 Future Land Use Map





1.8 Enhanced Design Elements

Downtown Doral South has been designed to extend and enhance the design elements which are already being implemented in Downtown Doral.

1. URBANISM

a. The project contributes to creating a neighborhood that is diverse, compact and pedestrian friendly. The Project will create a compact neighborhood with the use of multiple high density land uses. The neighborhood layout encourages pedestrian activity with pedestrian access adjacent to all uses, attractive walkways and lush landscaped commons.

b. The project creates opportunities for daily living activities within walking distance. With a large area of Retail, Office, and Civic space, residents have the ability to work, shop, dine, and attend school and community events without leaving the Downtown Doral South / Downtown Doral community.

c. The project includes a civic and/or cultural component reinforcing the community identity. The community will contain communal features to encourage planned and unplanned events alike. Similar to the Downtown Doral Park, Downtown Doral South's amphitheater will house a range of organized events. Public art, similar in theme with Downtown Doral, will also enhance the cultural experience. Meanwhile, the community clubhouse, parks, and landscaped walkways will provide the backdrop for resident interaction and formation of the community's identity.

2. DESIGN EXCELLENCE

a. Design and material selections will fit with South Florida's natural urban climate. As detailed in this Pattern Book, the design and materials are intended to extend urban core created by Downtown Doral.

b. Materials contribute to the longevity of the project. The flexibility of architectural design encouraged within Downtown Doral South is intended to provide a variety of styles, such as Contemporary, Mediterranean, Santa Barbara, etc. This variation will allow the community to achieve a timeless look.

c. The project contributes to the encouragement of public arts in some

manner. As with Downtown Doral, the open spaces and focal points of Downtown Doral South will further the City's public arts initiative.

d. The project demonstrates innovation with respects to architecture, green design, landscaping and urban form. This Pattern Book illustrates how the Downtown Doral South Project exemplifies innovative design.

3. SCALE, CONNECTIONS AND CONTEXT

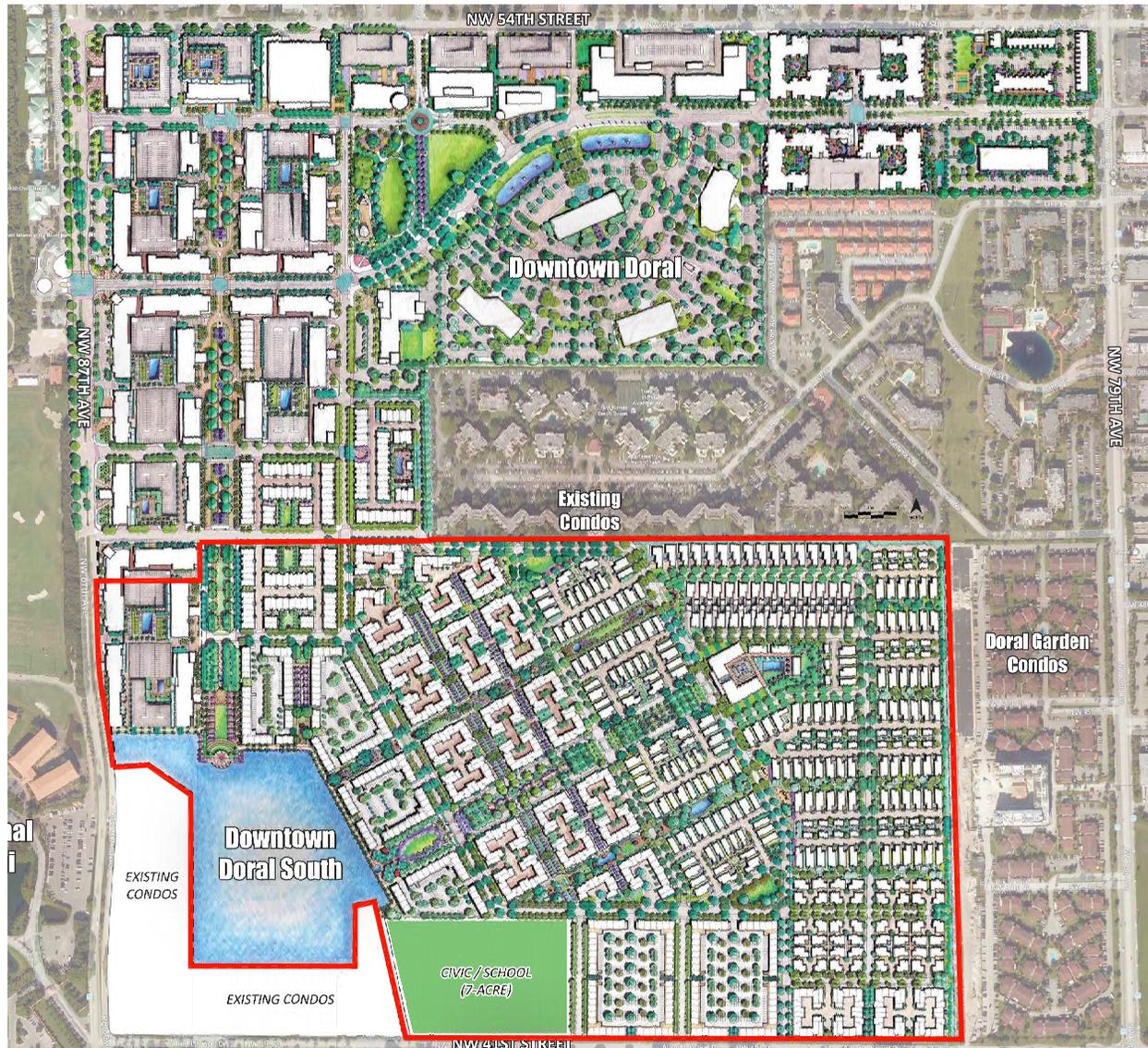
a. The Project integrates into the existing neighborhoods by providing vehicular and pedestrian connections. Vehicular, bicycle and pedestrian connections through the Downtown Doral South project provide a seamless journey from Downtown Doral to NW 41st Street, and will (upon further development within the DMUOA) provide a complete network of multi-modal connectivity for future residents to enjoy.

b. The Project incorporates opportunities for public transportation enhancement and connections. The proximity to public transportation stops, including the City of Doral trolley, will easily connect residents to destinations outside of the community. Transit routes and stop locations will be finalized at the time of Site Plan Approval.

c. The overall scale of the development is consistent with the existing land use patterns or future land uses for the neighborhood. As the rendered massing study exhibits, the scale of development transitions from the highest densities in north and west, to the moderate density in the east. This pattern is intended to be harmonious with the adjacent land use patterns.

d. To the greatest extent possible, the Project connects to the existing surrounding ecology, and provide for logical connections. The Downtown Doral South project anchors Paseo Doral at the large existing lake, providing the entire Downtown Doral mixed-use area with access and vistas of the lake, a central feature of the Property.

1.9 Rendered Massing Study

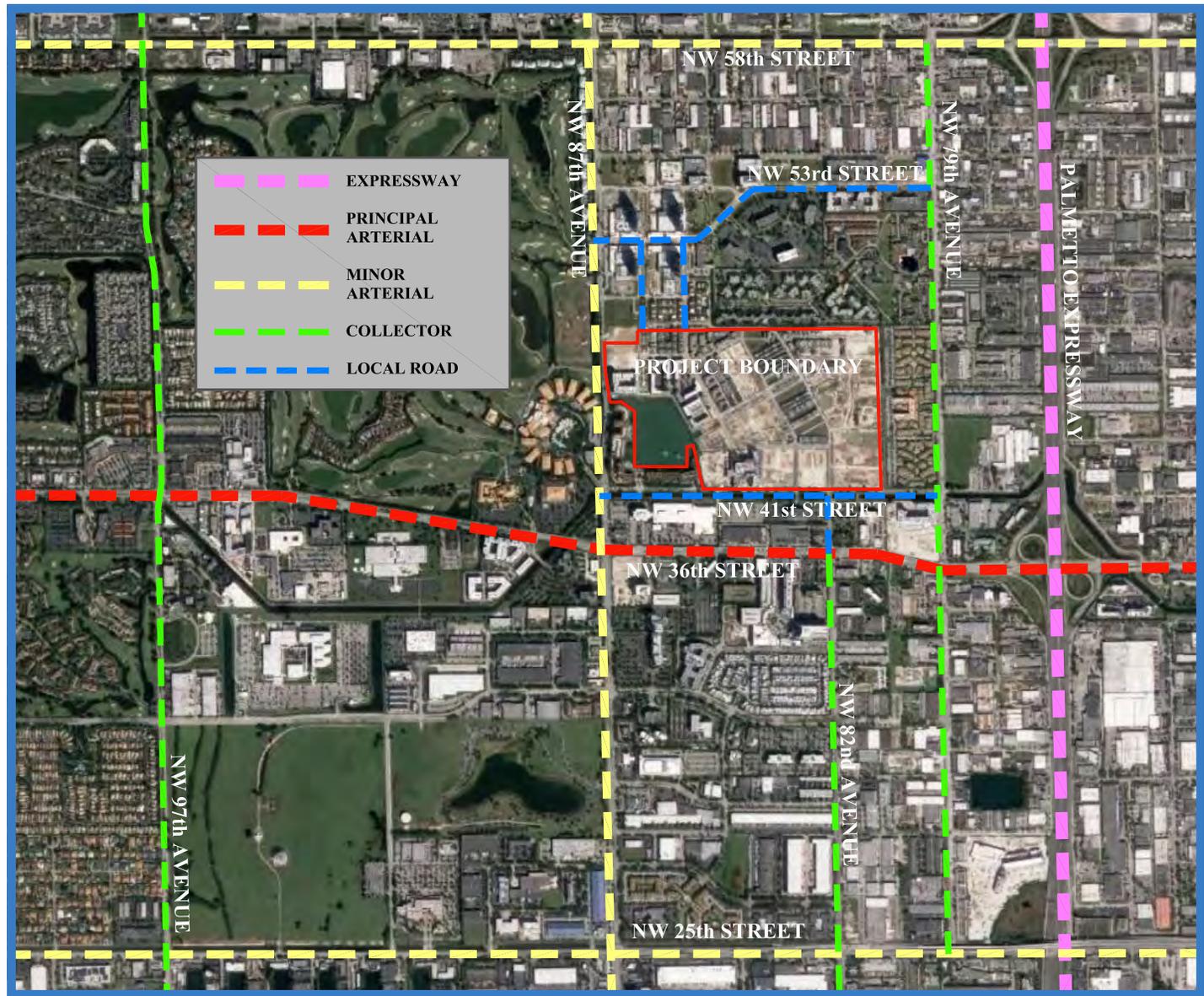


The Downtown Doral South project represents a unique opportunity for the City of Doral to enhance and expand the existing downtown doral development. the intelligent mixture of restaurants, shopping, business opportunity, upscale residences, and the City's civic center has made the Downtown Doral project an incredible success story. Now, by nearly doubling the size of the city's heart, the combined Downtown Doral/Downtown Doral South Project can help the City of doral create a seamless downtown urban core. The combined developments will offer the full spectrum of residential opportunities, all within walking distance of the retail and office elements.

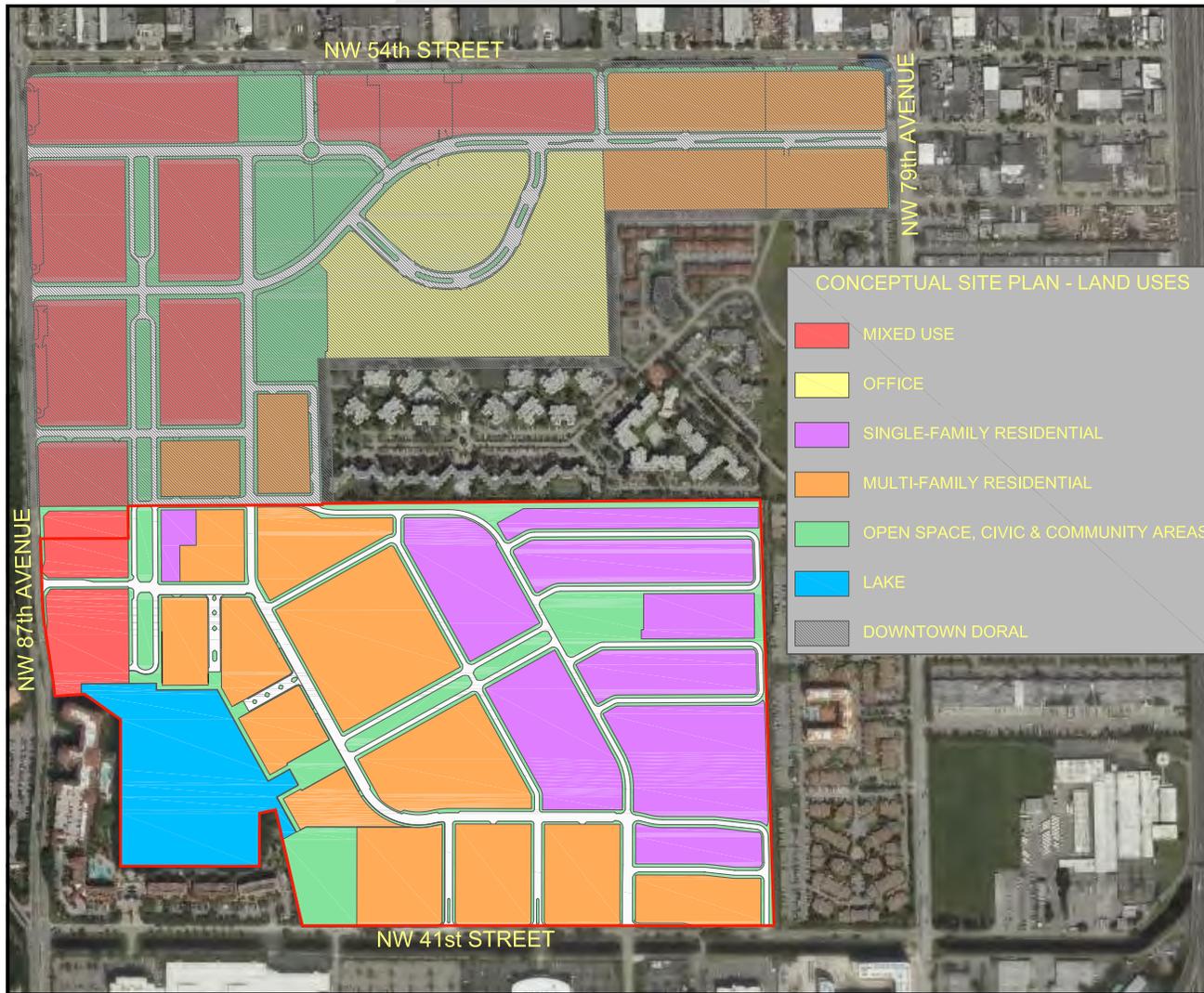
The rendered massing study was developed to demonstrate the development program while providing connectivity, open space, and amenities as detailed in this Pattern Book. the specific location and layout of proposed buildings and uses shall be determined at the time of site plan approval.

1.10 Site Access Plan

The site access plan depicts the project boundary in relation to the surrounding public rights of way. The functional classification of each right of way is identified based on the City of Doral 2010 Transportation Master Plan. This plan highlights the 'missing link' connecting downtown Doral to NW 82 Avenue, which will be completed by the Downtown Doral South project.



1.11 Conceptual Master Plan-DMU Neighborhood



Immediately evident from the Conceptual Site Plan is the diversity of uses within the Downtown Doral South & Downtown Doral community. The combined plan provides the following development mix:

- RETAIL: 233,895 SF GLA
- OFFICE: 1,950,000 SF GLA
- RESIDENTIAL: 5,549 DU
- MUNICIPAL/CIVIC: 60,000 SF
- RECREATIONAL: +/-7.6 ACRES
- VISUAL & PERFORMING ARTS CENTER/SCHOOL: +/-7 ACRES (Includes School Grades 6-12), 800 STUDENTS (Grades K-5)

NOTES:

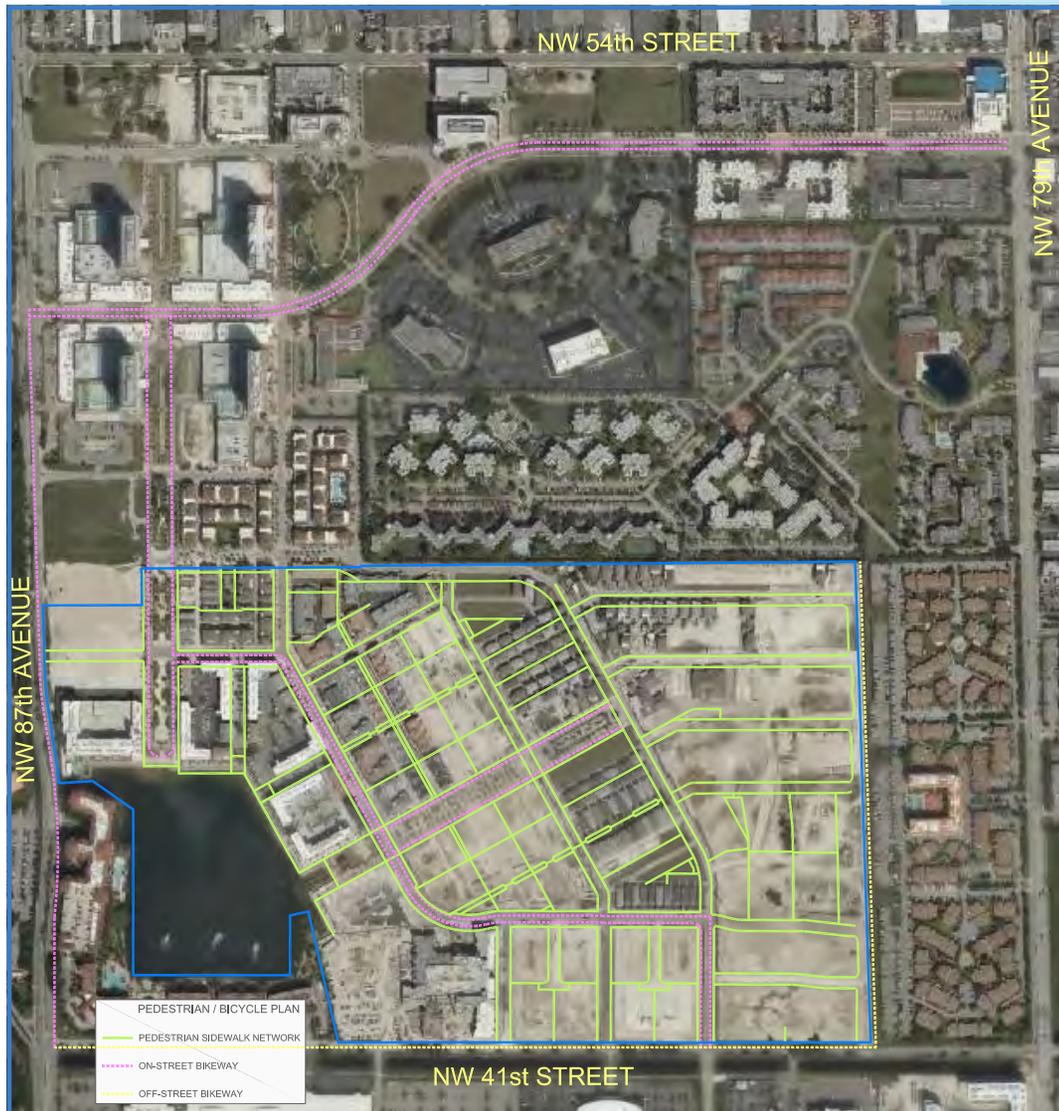
1. The Downtown Doral community is shown for connectivity purposes only. Uses within Downtown Doral are governed by the Downtown Doral Urban Regulations, as adopted by the City of Doral Council on August 23, 2006.
2. Lake area may vary based on storm water management requirements. Final size/configuration to be determined during the administrative site plan approval process.

1.12 Circulation Plan

The community provides multiple vehicular and pedestrian connections from Downtown Doral to NW 41st Street and (via NW 82nd Avenue) to NW 36th Street. This multimodal inter-connectivity creates the desired effect of merging the two projects into a single functional community. Additionally, these connections will allow interaction between the Downtown Doral/Downtown Doral South projects and the Downtown Mixed Use Opportunity Area (DMUOA) on the south side of NW 36th Street, relieving some burden from NW 87th Avenue and NW 79th Avenue.



1.13 Bicycle Circulation Plan



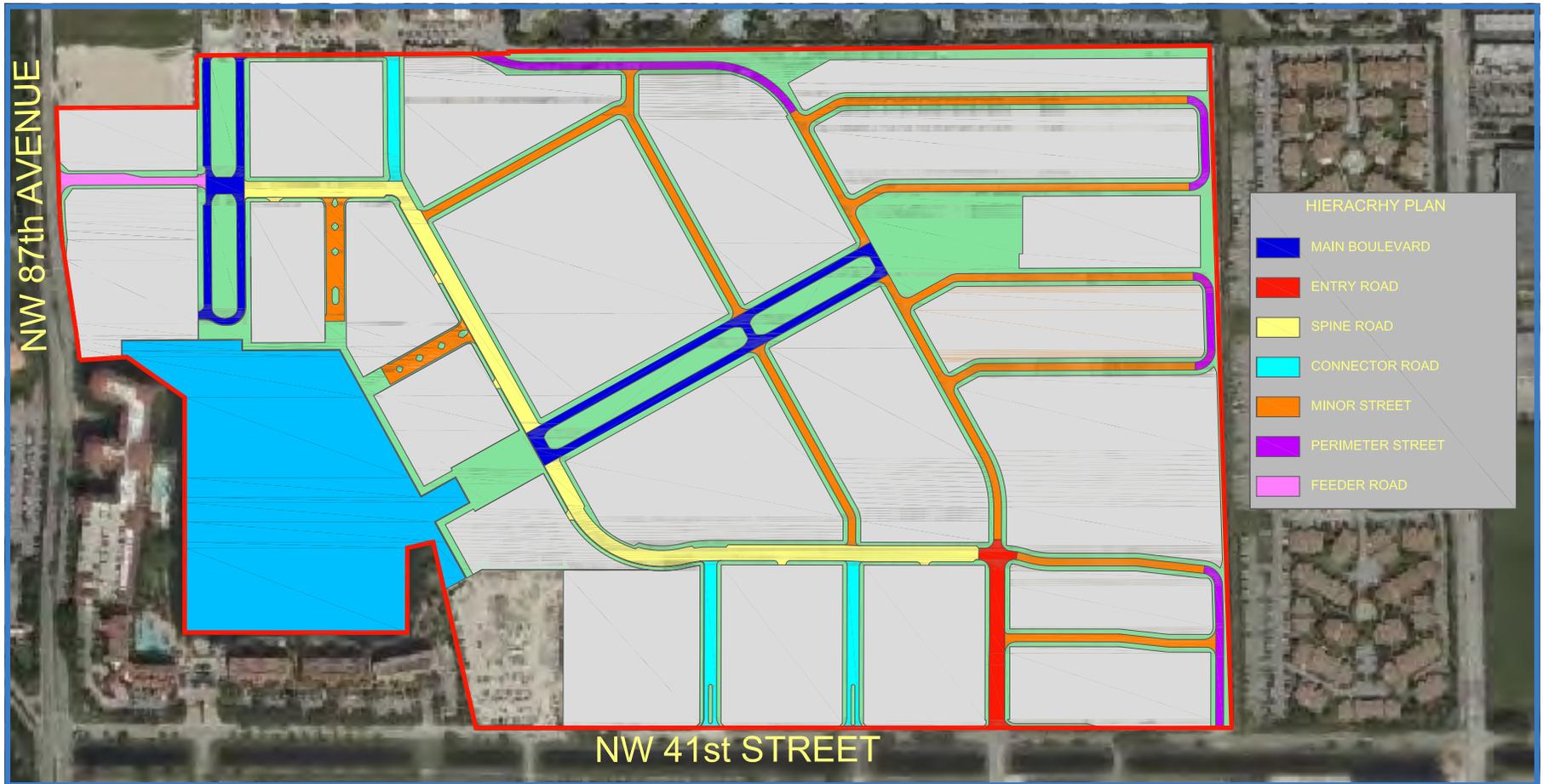
The Downtown Doral and Downtown Doral South communities provide bicycle connectivity through the use of dedicated bike lanes and shared lanes on project streets (as shown), and by providing an on-site bicycle and pedestrian network of non-vehicular use areas.

NOTES:

1. The Downtown Doral community is shown for connectivity purposes only. Uses within Downtown Doral are governed by the Downtown Doral Urban Regulations, as adopted by the City of Doral Council on August 23, 2006, as amended.
2. The off-site bikeways depicted on this plan are future improvements planned by the City of Doral, as set forth on the City of Doral Bikeway Network Plan. These improvements are shown only to highlight the connections provided by the on-site bike lanes to and from these future routes.



1.14 Roadway Hierarchy Plan



1.15 Phasing Plan



NOTE: Final configuration and sizes of parcels may vary. Phasing subject to modifications, as parcels may be developed in accordance with market demand for different product types. Timing of phases may vary subject to market influences and fluctuations.



Landscaping + Open Space + Common Elements

CHAPTER 2

2.0 Open Space /Overall Landscape Controls

2.1 Open Space Guidelines

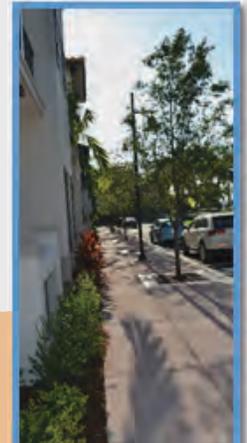
Approximately 17.6 acres shall be set aside as common open space in an urban environment. These shall be landscaped or natural open areas located in the built environment such as plazas, pocket parks, boulevard medians, and the lakefront promenade. Open space shall be used for social, passive recreational, civic, stormwater and/or natural environmental purposes. Amenities within open spaces may include benches, trails and pathways.

2.2 Open Space Management

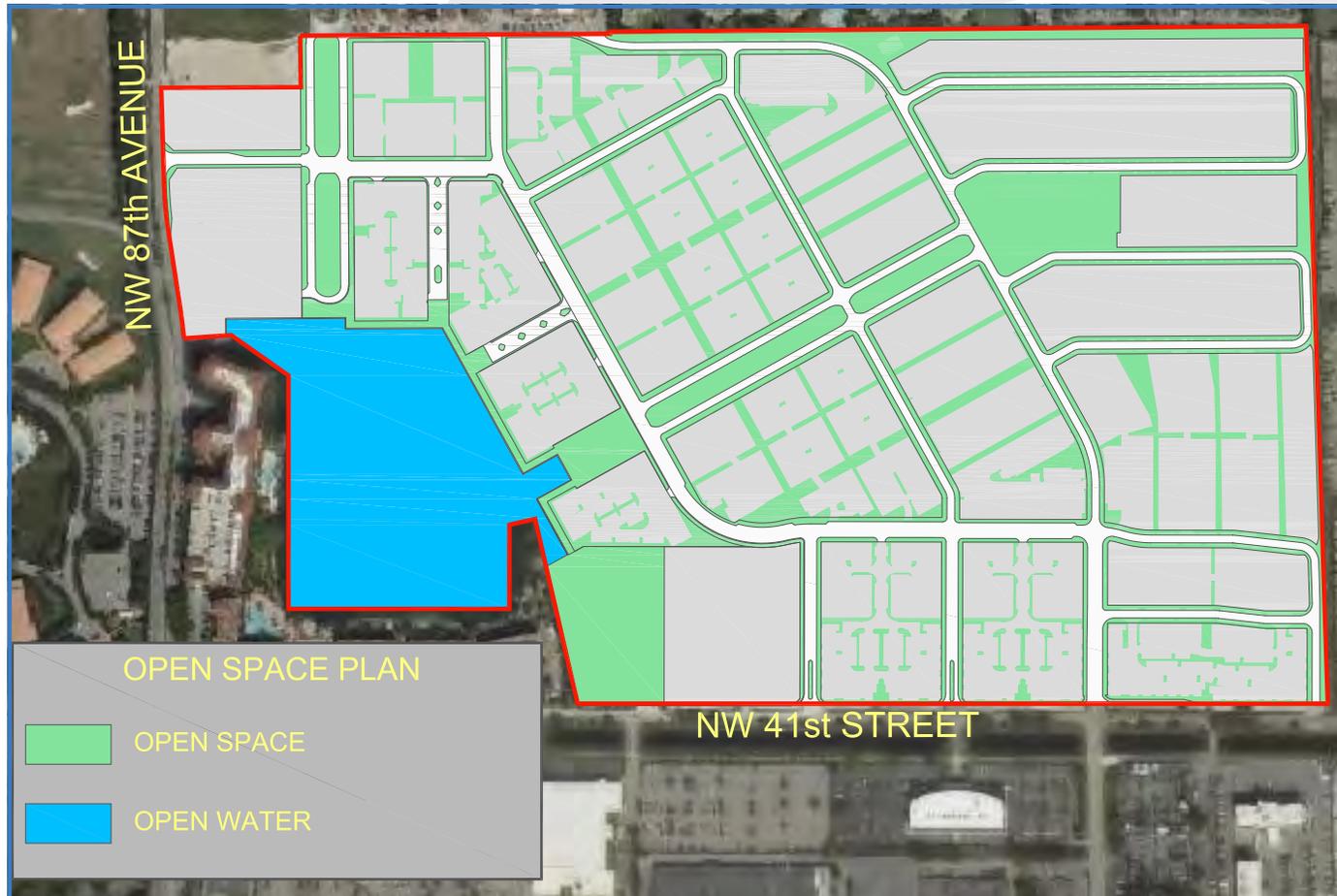
All parks and open space will be owned and maintained by an approved homeowner's association, community development district, or the City of Doral. Open space improvements shall be constructed by the developer or by an approved community development district. The amphitheater may be utilized for outdoor concerts, exhibits, farmers markets, and other community gatherings. The pocket parks, plazas, and landscaped boulevards will provide a restful gathering space next to the sidewalk throughout Downtown Doral South. Streetscape improvements will include wide sidewalks, landscape planting beds, and tree canopy to provide shade and character to the street experience.

2.3 Buffers and Visual Screening

Landscaping will be utilized to enhance the overall aesthetic quality of the development. Though main roads will not contain landscape buffers, dense plantings will be placed strategically along and between buildings to break up building frontages. Perimeter buffers, where required may include trees, shrubs, hedges, grasses, or fences/walls in order to benefit both the site and the adjacent uses.



2.4 Open Space Plan



The open space plan depicts how the development parcels are inter-connected by pedestrian and bicycle-accessible open spaces. A grid of linear landscape mews extend from the lakewalk, throughout the Downtown Doral South Project. Though the exact layout/dimensions of each open space will be determined at the time of Site Plan Approval, the theme of interconnectivity through open spaces shall be maintained.

2.5 Street furnishings & Lighting

The street furnishings & lighting for Downtown Doral South shall be consistent with those previously approved for and installed within the Downtown Doral Project. Decorative street signs and lights, like those depicted herein, are intended for the main thoroughfares.

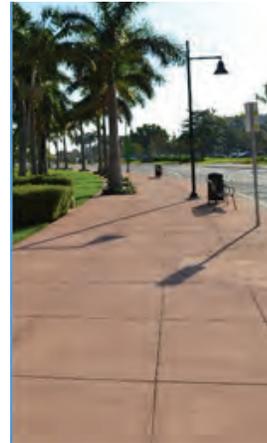
NOTE:
These are conceptual reference images. The final design and selection of features, fixtures and materials will be confirmed at the time of Site Plan Approval.



2.6 Paving Treatments



Asphalt Paving



Decorative Pavers



Colored Concrete

The paving treatments for Downtown Doral South shall be consistent with those previously approved for the Downtown Doral project. Textured or colored pavement, or decorative pavers should be incorporated at points where major pedestrian routes cross roadways. These locations shall be set forth at the time of the Approved Site Plan.

NOTE:

These are conceptual reference images. The final design and selection of features, fixtures and materials will be confirmed at the time of Site Plan Approval.



Decorative Pavers (Roadway)



Tree Grate



Planted Bed





Residential Guidelines

CHAPTER 3

3.1 Residential Guidelines

BUILDING PLACEMENT (MULTI-FAMILY & TOWNHOMES)

- Buildings can be built to the setback line. However, horizontal projections, such as balconies and porches, may expand beyond this line.
- Parking shall be internalized whenever possible, avoiding excessive surface parking between buildings and the street. Parking garages shall be screened from view by providing coverage with screens, louvers, overhangs or a combination thereof and a distinct use of materials in order to maintain a pedestrian friendly street in primary and secondary streets.
- The architectural treatment of the parking structure will be integrated with the overall design composition.
- Maximum building height shall be the maximum allowable within the DMU zoning district of the City of Doral.
- Roof structures are not counted toward building height unless otherwise stated in this Pattern Book
- Town home units shall have three or more units

BUILDING PLACEMENT AND HEIGHT (SINGLE FAMILY)

- Max Height = 45'-0"
- Front Setback = 0'-0" min.
- Side/Interior Setback = 0'0 min.
- Rear Setback = 0'-0" min.
- Building Separation = 10'-0" min. (measured perpendicular to the property line)
- Buildings can be built out to the setback line. However, different planes on the building elevations are encouraged. Balconies may project beyond the setback line by no more than 3'-0".
- Parking will be internalized whenever possible, avoiding excessive surface parking between buildings and the street.
- On-street parking may be provided to meet parking requirements.
- Roof structures are not counted toward building height unless otherwise stated in this Pattern Book.



3.1 Residential Guidelines



ORIENTATION TO THE STREET (MULTI-FAMILY & TOWNHOMES)

- Apartments with ground floor access: Main entrances and windows to major rooms should address the street or an open space with pedestrian accessibility. Walkways and private gardens leading to the front door are encouraged. The front door should be a prominent and welcoming feature on the front façade of each unit.
- Building designs that create blank wall conditions should be avoided.

ORIENTATION TO THE STREET (SINGLE FAMILY)

- Front doors and windows to major rooms should address the street or an open space with pedestrian accessibility.
- Walkways which lead to the front door, separate from the driveway, are also encouraged.
- The front door should be a prominent and welcoming feature on the front façade of each unit.

PLACEMENT OF MAIN ENTRANCES (MULTI-FAMILY & TOWNHOMES)

- Residential units with ground floor access: Individual entrances should be visible from the street or an open space with pedestrian connectivity, well-lit and easily accessible.
- Front gardens are encouraged and may be landscaped with varying plant material and hedges.

PLACEMENT OF MAIN ENTRANCES (SINGLE FAMILY)

- Individual unit entrances should be visible from the street or an open space with pedestrian accessibility. They should be well-lit and easily accessible, as well as varied in Architectural character.

3.1 Residential Guidelines

BUILDING EXPRESSION

- Buildings are encouraged to have varying fenestration expression as well as varied treatments or surfaces on the exterior to articulate the building massing.
- At the base of the buildings, building massing should be articulated into distinct planes that are expressed as smaller components or as individual units.
- A 'punched' window or a floor to ceiling glass expression is permitted.
- Well-designed building using high quality materials are preferred. Materials may include but are not limited to glass, aluminum or metal, painted stucco, architectural pre-cast concrete, wood, or natural stone.
- Material selection shall take into account durability and climate sensitivity.
- Building facades shall be articulated to provide opportunities for landscaping.

SECONDARY STRUCTURES

- Porches or covered entrances may encroach into the setback line in the front, rear, or sides of the primary structure.
- Nothing shall prohibit the construction of attached or separate detached garages, mother-in-law flats or live-work offices.

PARKING

- Code-required parking may be provided in garages, off-street parking lots, or on-street parking within the Downtown Doral South community.
- Parking structures and parking lots should be well-designed or reasonably screened from view, wherever possible, by the use of liner units or by providing coverage with screens, louvers, wall, overhangs, landscaping, or a combination thereof.
- The architectural treatment of the parking structure will be integrated with the overall design composition.
- The minimum distance from the street right-of-way line at any ingress or egress driveway to the outer edge of any interior service drive or parking space with direct access to such driveway shall be in accordance

to city code standards.

- Single Family & Townhomes - Two parking spaces shall be provided per unit. Such spaces may be provided within a garage, carport, off-street parking, or on-street parking.
- Condominiums shall have 1 space per unit.



3.1 Residential Guidelines



Typical Cluster Townhouse

ROOFS

- Roofs, if sloped, may be clad in clay tile, painted metal standing seam roofing, concrete tile. Colors may vary depending on the material.
- Gutters, downspouts, and projecting drainpipes shall be made of painted galvanized metal or copper left in its natural color.
- Principal roofs may be flat or sloped and may be accented by decorative roof features. Flat roofs should be surrounded by a continuous horizontal parapet wall, which may have breaks (with metal railing) where adjacent to rooftop deck areas).
- Roof penetrations, including vent stacks, shall be placed back from the principal frontage of the roofs and finished to match the color of the roof.
- Skylights, if provided, should be flat and mounted away from the principal frontage of the roof.
- Roof Deck Standards: Roof deck can include decorative elements such as trellises, water features + landscape elements.

CORNER CONDITIONS

- Main building façade treatment shall wrap around the corner or primary streets and secondary streets and shall meet the required setbacks.

TRASH, WASTE AND RECYCLING

- Within multi-family buildings, trash can be collected through trash chutes located inside buildings, with a central collection area.

SWIMMING POOLS

- Multi-family- swimming pools may be at grade level in designated recreation areas or incorporated on the upper level of the raised parking decks. Such decks shall incorporate landscape elements to provide shade and enhance the overall appearance and views from apartments at upper levels. The use of green roofs is encouraged.
- Single-Family - Pools can be located within 2' from any property line or building. Pool houses must be located within the buildable area.

GREEN BUILDINGS

- All buildings with greater than 25,000 interior SF shall comply with Chapter 63 of the City of Doral Code.

3.1 Residential Guidelines

WINDOWS, DOORS, WALLS & DETAILS

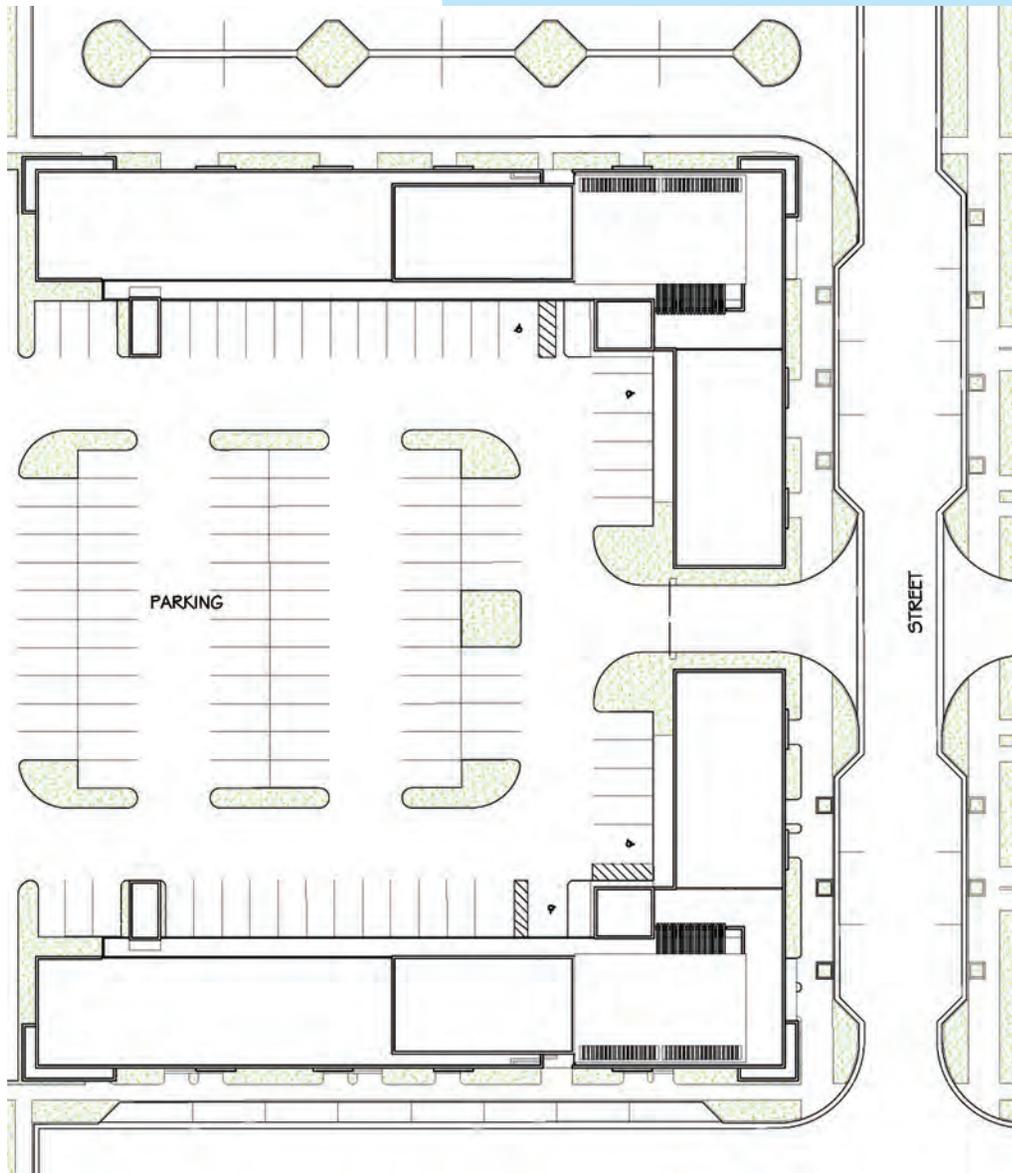
- Windows shall be made of painted metal or anodized aluminum. Glass may be clear or lightly tinted, but not dark or reflective.
- Doors shall be painted metal or aluminum and glass. Glass may be clear or lightly tinted, but not dark or reflective.
- Storefronts shall be made of painted metal or anodized aluminum and clear or lightly tinted glass, but not dark or reflective.
- Solid metal security gates or solid roll down windows shall be prohibited.
- Windows shall be sliding, single or double hung or operable casements.
- Mullions can be included to provide a variety of glazing configurations.
- Storefront windows can be used for the definition of vertical circulation and ground level active uses. Floor to ceiling glass windows are permitted.
- Walls may be finished in stone, cast stone, stucco, brick, cementitious siding or wood.
- Arches and piers shall be finished in stone, cast stone, stucco, brick, cementitious siding, or wood.
- Stoops can be finished in stone, cast stone, stucco, brick, cementitious siding or wood.
- Frontage walls may be finished in stone, cast stone, stucco, brick, cementitious siding, or wood.
- Gates shall be decorative metal.
- Retaining walls should be finished in stone,

cast stone, stucco, brick, cementitious siding, or wood.

- Fences can be made of decorative metal.
- Wood, if visible, shall be painted or stained.
- Trellises and other garden elements shall be made of aluminum, wood, cast, stone, or stucco.
- Decks can be made of wood and located within rear yards only.
- Awnings can be comprised of light metal armature with a canvas membrane.
- Railings can be made of metal, glass, or a combination thereof.
- Front walks can be made of brick, stone, concrete pavers, concrete, or pervious pavers.
- Awnings should not be internally lit.
- Mechanical equipment, including HVAC, utility meters, satellite dishes, play equipment, and the like should be screened from view as much as possible by surrounding roof features, i.e. parapets or decorative roof features.
- Covered entries shall be a minimum of 3'-0" deep.



3.2 Linear Multi-Family Detail



The linear multi-family detail depicts multi-family residential buildings with parking either at-grade or within a garage. Off-street parking, which may be access-limited, is screened from the main project thoroughfares by the buildings. Building height is restricted to 5 stories of residential units, however common amenities may be placed on the 6th story. Ground floor units may access the street or Open Space individually, with front porches and patios being encouraged. Hallway access to upper-story units may be internal or external, provided that any external corridor be oriented to the rear of the building.

NOTE:

This detail is intended to depict one possible orientation of the linear multi-family buildings. Building dimensions, layout, and massing will be set forth on the Approved Site Plan.

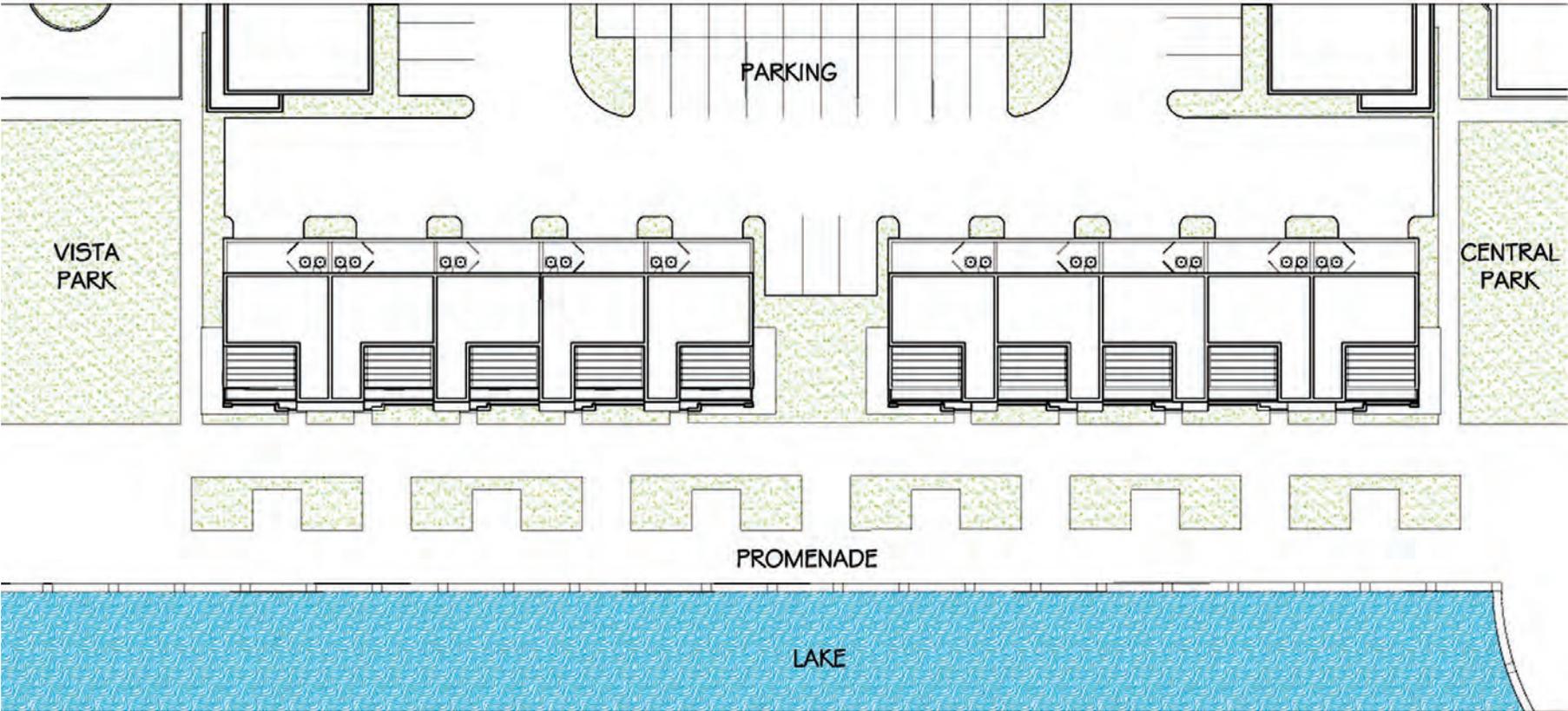
The guest parking spaces within each surface parking lot shall comply with the SRI requirements of Sec. 77-195 of the City of Doral Code.

3.3 Linear Townhome Detail

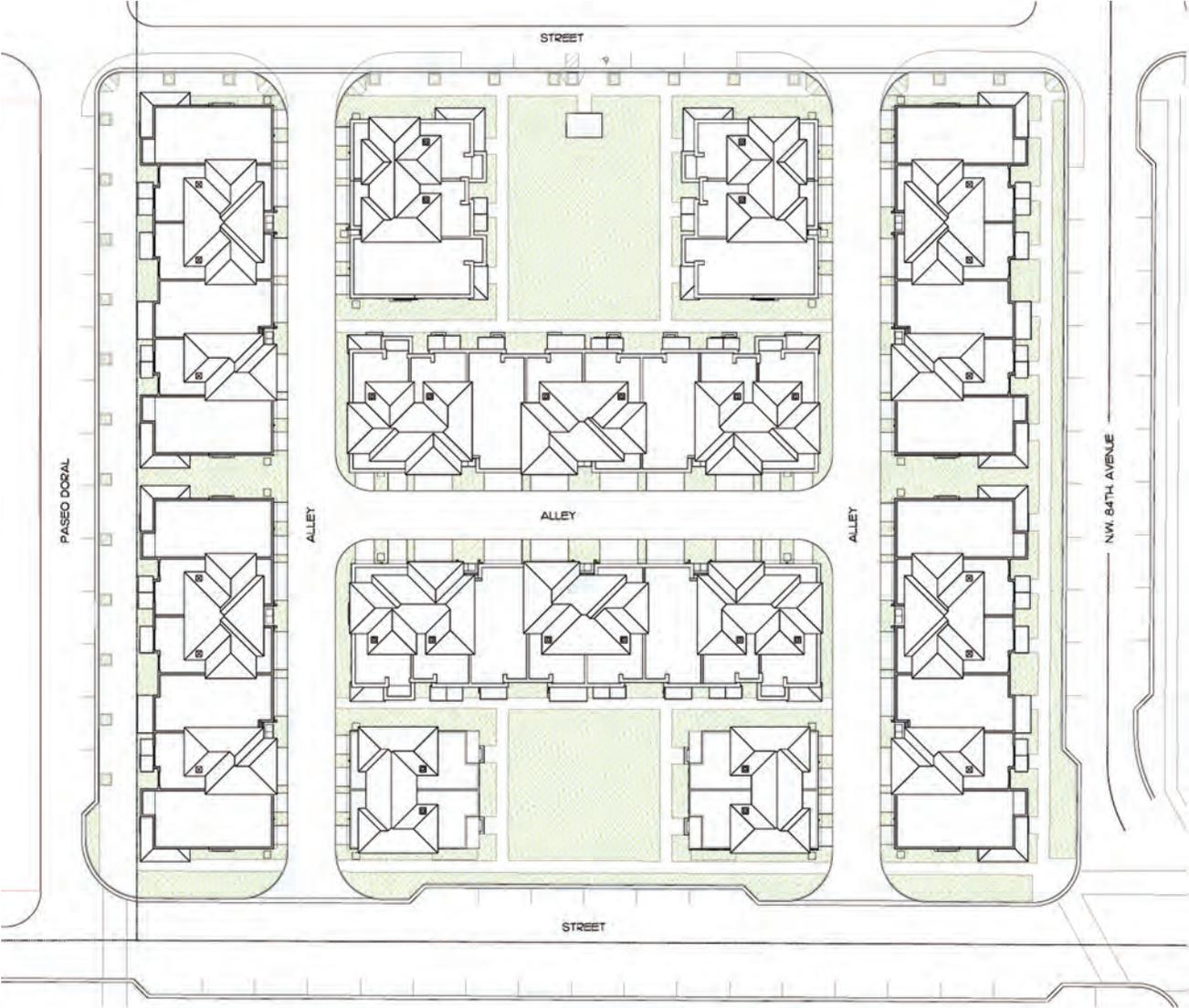
The linear townhome detail depicts residential townhome buildings with parking either at-grade or within a garage. Off-street parking, which may be access-limited, is screened from the main project thoroughfares by the buildings. Buildings may front on a project street or any Open Space. Building height is restricted to 4 stories of residential units, however, a covered rooftop amenity may be placed on the 5th story. Ownership may be condo or fee-simple. Ground floor units may access the street or Open Space individually, with front porches and patios being encouraged.

NOTE:
This detail is intended to depict one possible orientation of the linear townhome buildings. Building dimensions, layout, and massing will be set forth on the Approved Site Plan.

The guest parking spaces within each surface parking lot shall comply with the SRI requirements of Sec. 77-195 of the City of Doral Code.



3.4 Cluster Townhome Detail



The cluster townhome detail depicts townhome residential buildings with parking either at-grade (on-street) or within a garages. Garages are screened from the main project thoroughfares by the buildings. Buildings may front on a project street or any Open Space. Building height is restricted to 4 stories of residential units, however, a covered rooftop amenity may be placed on the 5th story. Ownership may be condo or fee-simple. Ground floor units may access the street or Open Space individually, with front porches and patios being encouraged.

NOTE:
This detail is intended to depict one possible orientation of the cluster townhome buildings. Building dimensions, layout, and massing will be set forth on the Approved Site Plan.

3.5 Inverted Cluster Townhome Detail

The inverted cluster townhome detail depicts townhome residential buildings with parking either at-grade (on-street) or within garages. Garages are screened from the main project thoroughfares by the buildings. Buildings may front on a project street or any Open Space. Building height is restricted to 4 stories of residential units, however, a covered rooftop amenity may be placed on the 5th story. Ownership may be condo or fee-simple. Ground floor units may access the street or Open Space individually, with front porches and patios being encouraged.

NOTE:
This detail is intended to depict one possible orientation of the cluster townhome buildings. Building dimensions, layout, and massing will be set forth on the Approved Site Plan.



3.6 Mews/Alley Lot Detail



The mews/alley lot detail depicts single family residential buildings with parking either at-grade (on-street) or within garages. Garages are screened from the main project thoroughfares by the buildings. Buildings may front on a project street or any Open Space. Building height is restricted to 3 stories of residential units, however, a covered rooftop amenity may be placed on the 4th story. Landscape mews may be elevated to facilitate a split-level entry home design.

NOTE:

This detail is intended to depict one possible orientation of the mews/alley lots. Building dimensions, layout, and massing will be set forth on the Approved Site Plan.

3.7 Cluster Lot Detail

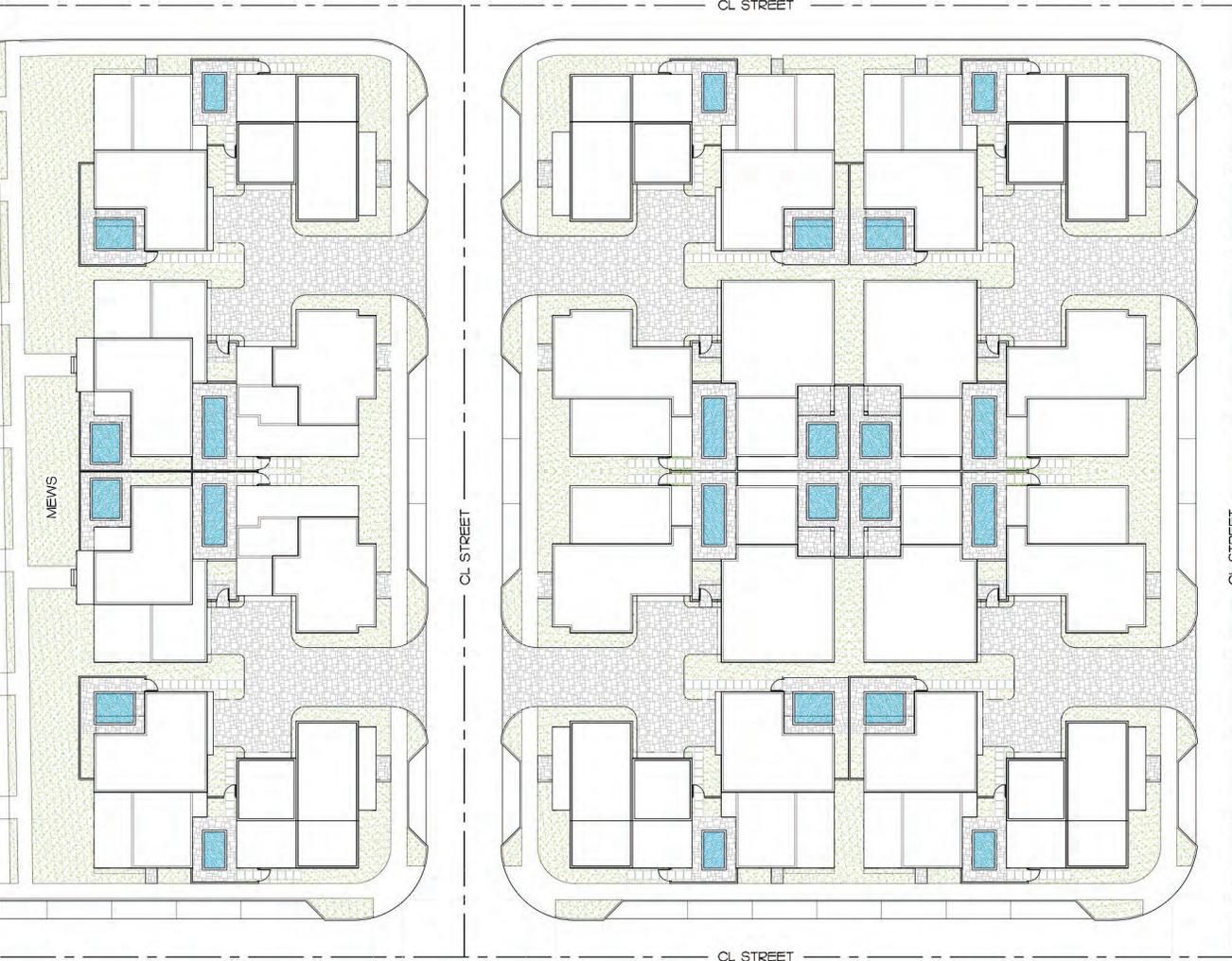


The cluster lot detail depicts single family residential buildings with parking either at-grade (on-street) or within garages. Garages are screened from the main project thoroughfares by the buildings. Buildings may front on a project street or any Open Space. Building height is restricted to 3 stories of residential units, however, a covered rooftop amenity may be placed on the 4th story. Landscape mews may be elevated to facilitate a split-level entry home design.

NOTE:
This detail is intended to depict one possible orientation of the cluster lots. Building dimensions, layout, and massing will be set forth on the Approved Site Plan.



3.8 Motor Court Lot Detail



The motor court lot detail depicts single family residential buildings with parking either at-grade (on-street) or within garages. Garages are screened from the main project thoroughfares by the buildings. Buildings may front on a project street, motor court or any Open Space. Building height is restricted to 3 stories of residential units, however, a covered rooftop amenity may be placed on the 4th story.

NOTE:
This detail is intended to depict one possible orientation of the motor court lots. Building dimensions, layout, and massing will be set forth on the Approved Site Plan.

3.9 Carriage Lot Detail

The carriage lot detail depicts single family residential buildings with parking either at-grade (on-street) or within garages. Garages are set back from the main project thoroughfares by more than 40'. Garages may be set within 5' of the right of way line if they are side-loaded. Buildings may front on a project street. Building height is restricted to 3 stories of residential units, however, a covered rooftop amenity may be placed on the 4th story.

NOTE:
This detail is intended to depict one possible orientation of the carriage lots. Building dimensions, layout, and massing will be set forth on the Approved Site Plan.



3.10 Retail, Office & Live work Guidelines



BUILDING PLACEMENT

- Buildings can be built to the setback line. However, horizontal projections, such as balconies and porches, may expand beyond this line.
- Parking shall be internalized whenever possible, avoiding excessive surface parking between buildings and the street. Parking garages shall be screened from view by providing coverage with screens, louvers, overhangs or a combination thereof and a distinct use of materials in order to maintain a pedestrian friendly street in primary and secondary streets.
- The architectural treatment of the parking structure will be integrated with the overall design composition.
- Maximum building height shall be the maximum allowable within the DMU zoning district of the City of Doral.
- Front Setback = 0'-0" min.
- Side/Interior Setback = 0'0 min.
- Rear Setback = 0'-0" min.
- Building Separation = 10'-0" min.
- Buildings can be built out to the setback line. However, different planes on the building elevations are encouraged.
- Balconies may project beyond the setback line by no more than 3'-0".
- On-street parking may be provided to meet parking requirements.

BUILDING EXPRESSION

- Buildings are encouraged to have varying fenestration expression as well as varied treatments or surfaces on the exterior to articulate the building massing.
- At the base of the buildings, building massing should be articulated into distinct planes that are expressed as smaller components or as individual units.
- A 'punched' window or a floor to ceiling glass expression is permitted.
- Well-designed building using high quality materials are preferred. Materials may include but are not limited to glass, aluminum or metal, painted stucco, architectural pre-cast concrete, wood, or natural stone.
- Material selection shall take into account durability and climate sensitivity.

3.10 Retail, Office & Live work Guidelines

ROOFS

- Roofs, if sloped, may be clad in clay tile, painted metal standing seam roofing, concrete tile. Colors may vary depending on the material.
- Gutters, downspouts, and projecting drainpipes shall be made of painted galvanized metal or copper left in its natural color.
- Principal roofs may be flat or sloped and may be accented by decorative roof features. Flat roofs should be surrounded by a continuous horizontal parapet wall, which may have breaks (with metal railing) where adjacent to rooftop deck areas).
- Roof penetrations, including vent stacks, shall be placed back from the principal frontage of the roofs and finished to match the color of the roof.
- Skylights, if provided, should be flat and mounted away from the principal frontage of the roof.
- Roof Deck Standards: Roof deck can include decorative elements such as trellises, water features + landscape elements.

CORNER CONDITIONS

- Main building facade treatment shall wrap around the corner or primary streets and secondary streets and shall meet the required setbacks.

SERVICE & UTILITIES

- Service areas should be located on alleys, screened from view by walls or buildings.
- Mechanical equipment, including HVAC, utility meters, and the like should be screened from view as much as possible by surrounding roof features, i.e. parapets or decorative roof features.
- Utilities should be located underground wherever practicable.



3.10 Retail, Office & Live work Guidelines



WINDOWS, DOORS, WALLS & DETAILS

- Windows shall be made of painted metal or anodized aluminum. Glass may be clear or lightly tinted, but not dark or reflective.
- Doors shall be painted metal or aluminum and glass. Glass may be clear or lightly tinted, but not dark or reflective.
- Storefronts shall be made of painted metal or anodized aluminum and clear or lightly tinted, but not dark or reflective.
- Solid metal security gates or solid roll down windows shall be prohibited.
- Mullions can be included to provide a variety of glazing configurations.
- Storefront windows can be used for the definition of vertical circulation and ground level active uses. Floor to ceiling glass windows are permitted.
- Walls may be finished in stone, cast stone, stucco, brick, cementitious siding or wood.
- Arches and piers shall be finished in stone, cast stone, stucco, brick, cementitious siding, or wood.
- Stoops can be finished in stone, cast stone, stucco, brick, cementitious siding or wood.
- Frontage walls may be finished in stone, cast stone, stucco, brick, cementitious siding, or wood.
- Gates shall be decorative metal.
- Retaining walls should be finished in stone, cast stone, stucco, brick, cementitious siding, or wood.
- Fences can be made of decorative metal.
- Wood, if visible, shall be painted or stained.
- Trellises and other garden elements shall be made of aluminum, wood, cast, stone, or stucco.
- Awnings can be comprised of light metal armature with a canvas membrane.
- Railings can be made of metal, glass, or a combination thereof.
- Awnings should not be internally lit.

3.11 Signage Regulations

OFFICE SIGNAGE CRITERIA	
SIGN TYPE	CRITERIA
General	Detached, freestanding or monument signs, where otherwise permitted, shall not be closer than 200 feet to any other previously permitted detached, freestanding or monument sign
Identification	Two signs per street frontage
Wall sign multi-tenant	Three wall signs per building
Canopy	One per canopy
Directory	One per multi-tenant center, in addition to other permitted signs
Directional	Per Approved Site Plan

RESIDENTIAL SIGNAGE	
SIGN TYPE	CRITERIA
Development Identification	One per street frontage unless two for symmetrical entrance feature
Clubhouse	One monument, detached, free-standing sign
Directional	Per Approved Site Plan

RETAIL SIGNAGE CRITERIA	
Sign Type	Criteria
General	Detached, freestanding or monument signs, where otherwise permitted, shall not be closer than 200 feet to any other previously permitted detached, freestanding or monument sign. Changeable copy is allowed along 87th Ave frontage
Identification	Two signs per street frontage
Wall sign multi-tenant	Three wall signs per building
Canopy	One per canopy
Awning	One per establishment
Directory	One per multi-tenant center in addition to other permitted signs
Window (permanent)	One per establishment
Directional	Shall be reviewed at the time of building permit

NOTE: Live/work signage shall be governed by the retail signage criteria.



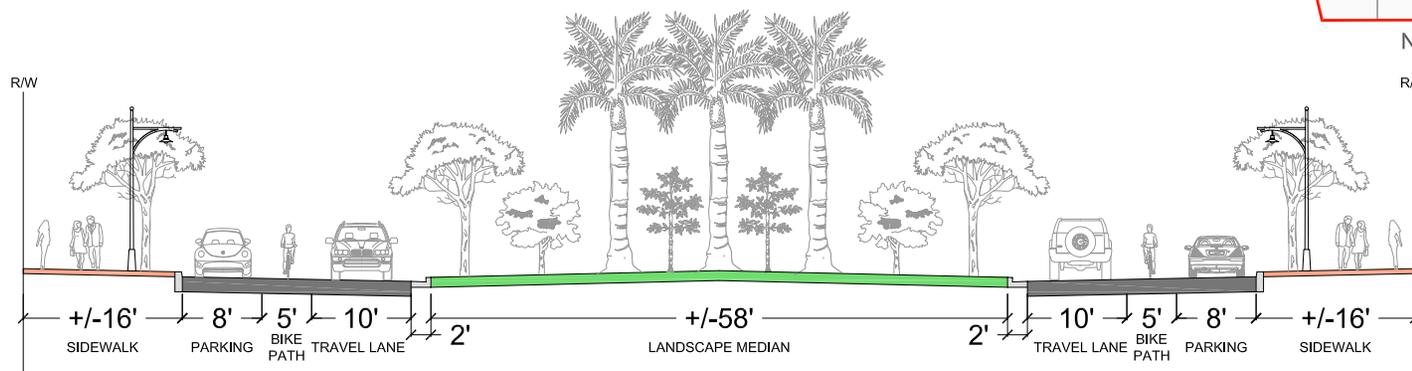
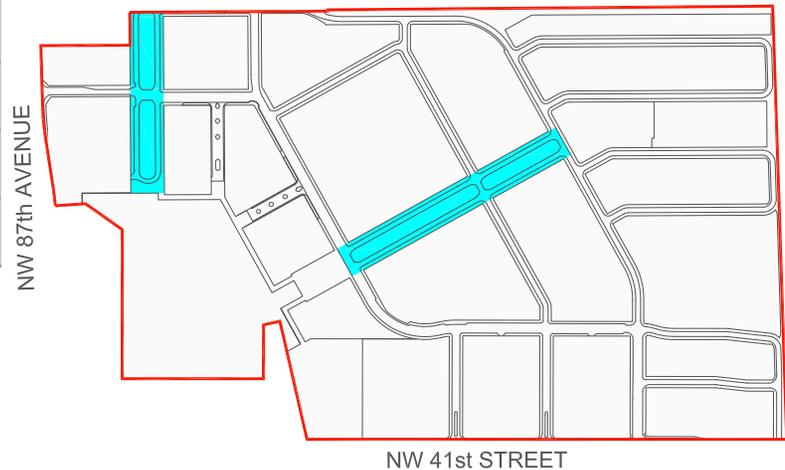
Streetscape + Roadway Guidelines

CHAPTER 4

4.1 Roadway Section- Main Boulevard

RIGHT OF WAY WIDTH	140' - 150'
TRAFFIC FLOW	TWO WAY, TWO LANE, DIVIDED
PARKING	PARALLEL SPACES; BOTH SIDES
BICYCLE LANES	DESIGNATED ON-STREET; BOTH SIDES
CURB TYPE	RAISED
PLANTER SPACING	25' O.C.
PLANTER TYPE	4'X4'; METAL GRATE OR PLANTED BEDS
STREET LIGHTS	75' SPACING (BOTH SIDES)
SIDEWALKS	LIGHT COLORED CONCRETE
DRIVING SURFACE	ASPHALT

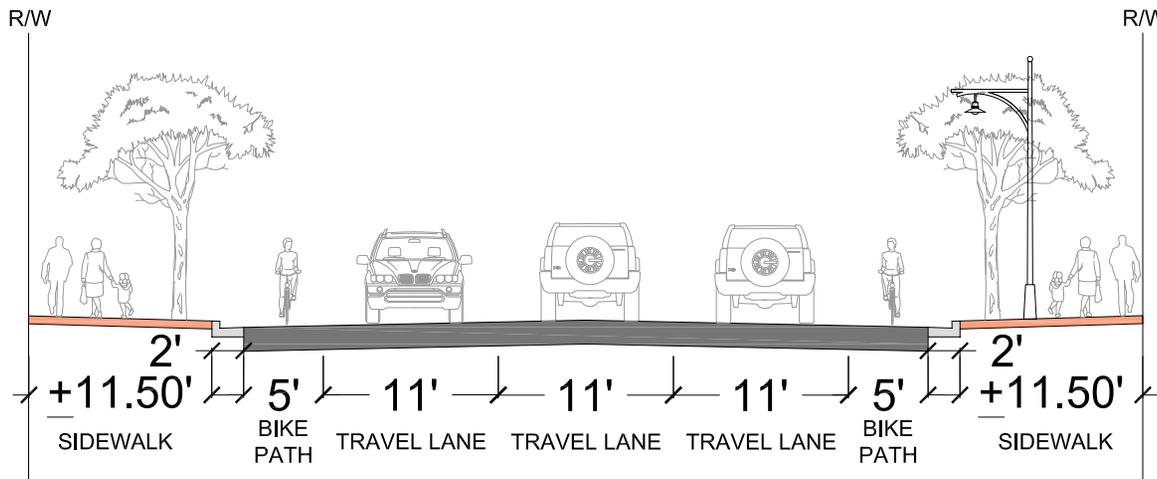
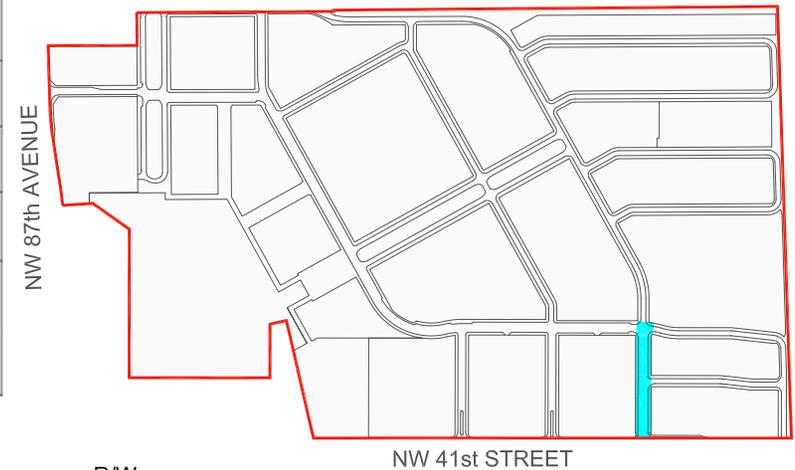
This cross section represents the primary boulevard through the Downtown Doral South community, with the intention of connecting the Downtown Doral project to the lake edge, and extending to the community center. It is designed as a tree-lined boulevard, with a wide landscaped median and wide pedestrian sidewalks on both sides. Landscape medians may serve as walking and exercise trails and natural retention areas. Street lights shall be a minimum of 4' behind face of curb. Measurements include concrete curbs, as depicted below. Landscaping is depicted to provide street character only. Final cross section width will be determined at the time of Paving & Drainage Plan Approval.



4.2 Roadway Section- ENTRY ROAD

RIGHT OF WAY WIDTH	70'-80'
TRAFFIC FLOW	TWO WAY, TWO LANE, UN-DIVIDED
PARKING	PARALLEL SPACES; BOTH SIDES
BICYCLE LANES	DESIGNATED ON-STREET; BOTH SIDES
CURB TYPE	RAISED
PLANTER SPACING	25' O.C.
PLANTER TYPE	4'X4'; METAL GRATE OR PLANTED BEDS
STREET LIGHTS	75' SPACING (ONE SIDE)
SIDEWALKS	LIGHT COLORED CONCRETE
DRIVING SURFACE	ASPHALT

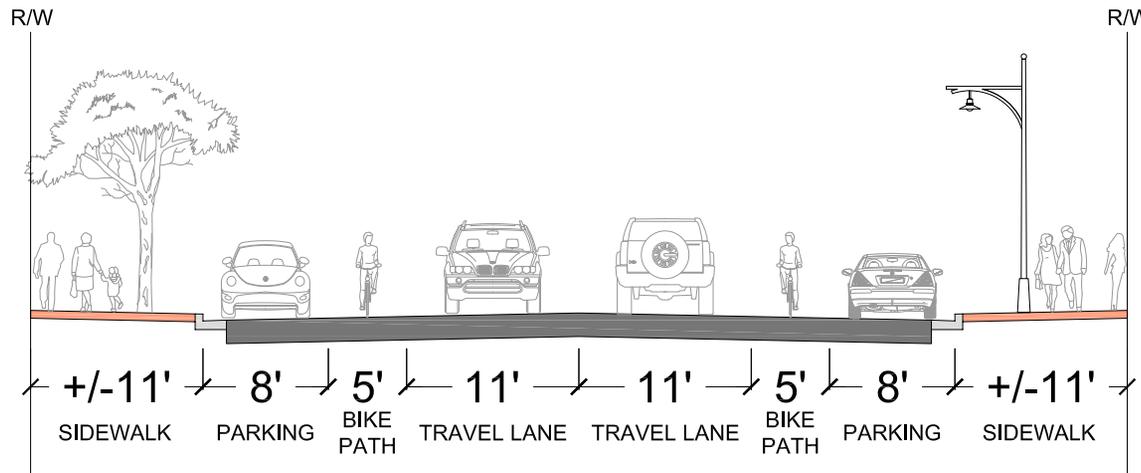
This cross section represents the entry roadway into the Downtown Doral South community. It is designed as a tree-lined boulevard, with a wide pedestrian sidewalk on both sides. Street lights shall be a minimum of 4' behind face of curb. Measurements include concrete curbs, as depicted below. Landscaping is depicted to provide street character only. Final cross section width will be determined at the time of Paving & Drainage Plan Approval.



4.3 Roadway Section- SPINE ROAD

RIGHT OF WAY WIDTH	60'-70'
TRAFFIC FLOW	TWO WAY, TWO LANE, UN-DIVIDED
PARKING	PARALLEL SPACES; BOTH SIDES
BICYCLE LANES	DESIGNATED ON-STREET; BOTH SIDES
CURB TYPE	RAISED
PLANTER SPACING	25' O.C.
PLANTER TYPE	4'X4'; METAL GRATE OR PLANTED BEDS
STREET LIGHTS	75' SPACING (ONE SIDE)
SIDEWALKS	LIGHT COLORED CONCRETE
DRIVING SURFACE	ASPHALT

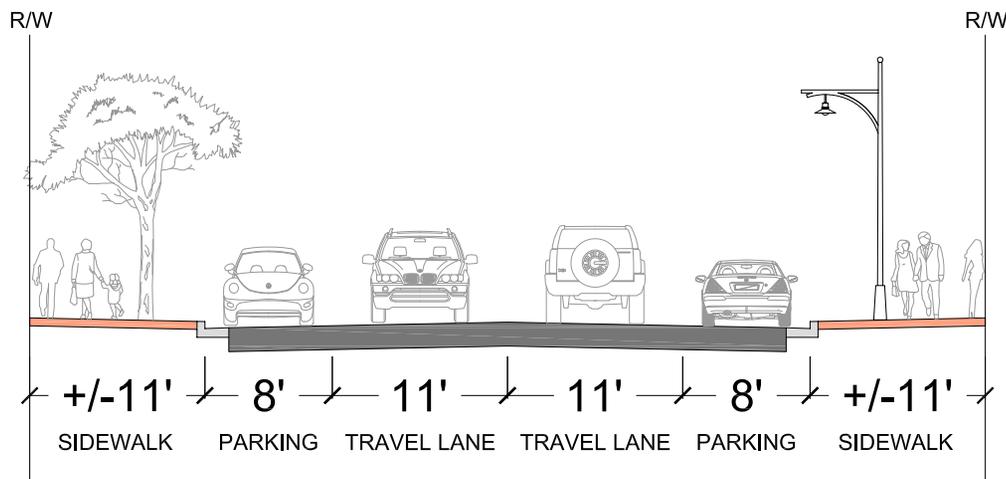
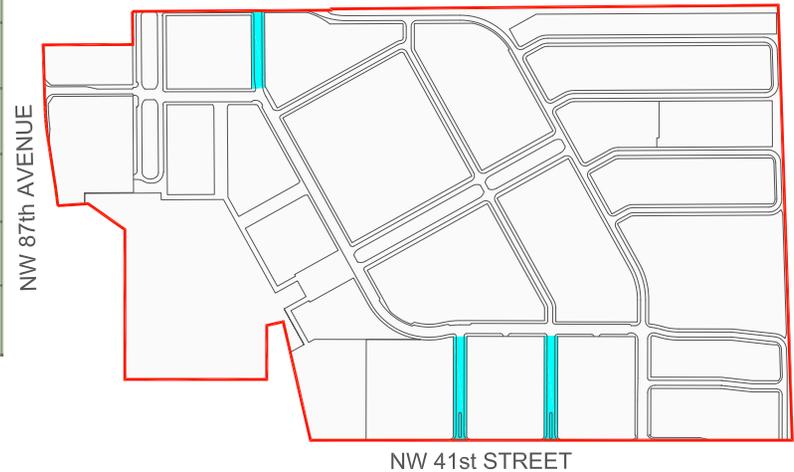
This cross section represents the spine road through the Downtown Doral South community. It is designed as a tree-lined boulevard, with a wide pedestrian sidewalk on both sides. Street lights shall be a minimum of 4' behind face of curb. Measurements include concrete curbs, as depicted below. Landscaping is depicted to provide street character only. Final cross section width will be determined at the time of Paving & Drainage Plan Approval.



4.4 Roadway Section- CONNECTOR ROAD

RIGHT OF WAY WIDTH	50'-60'
TRAFFIC FLOW	TWO WAY, TWO LANE, UN-DIVIDED
PARKING	PARALLEL SPACES; BOTH SIDES
BICYCLE LANES	NONE
CURB TYPE	RAISED
PLANTER SPACING	25' O.C.
PLANTER TYPE	4'X4'; METAL GRATE OR PLANTED BEDS
STREET LIGHTS	75' SPACING (ONE SIDE)
SIDEWALKS	LIGHT COLORED CONCRETE
DRIVING SURFACE	ASPHALT

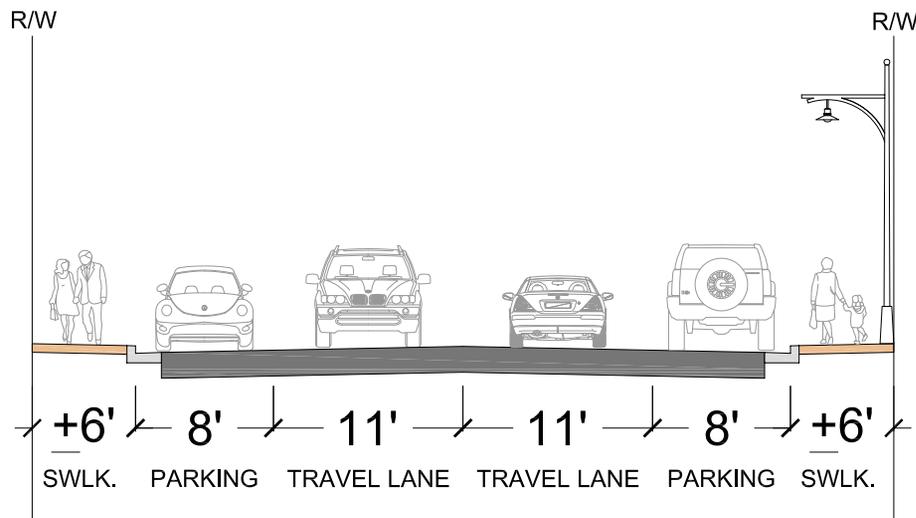
This cross section represents the connector road through the Downtown Doral South community. It is designed as a tree-lined boulevard, with a wide pedestrian sidewalk on both sides. Street lights shall be a minimum of 4' behind face of curb. Measurements include concrete curbs, as depicted below. Landscaping is depicted to provide street character only. Final cross section width will be determined at the time of Paving & Drainage Plan Approval.



4.5 Roadway Section- MINOR STREET

RIGHT OF WAY WIDTH	45'-70'
TRAFFIC FLOW	TWO WAY, TWO LANE, UN-DIVIDED
PARKING	VARIABLES
BICYCLE LANES	NONE
CURB TYPE	RAISED
PLANTER SPACING	40' O.C.
PLANTER TYPE	4'X4'; METAL GRATE OR PLANTED BEDS
STREET LIGHTS	75' SPACING (ONE SIDE)
SIDEWALKS	DECORATIVE PAVERS
DRIVING SURFACE	ASPHALT

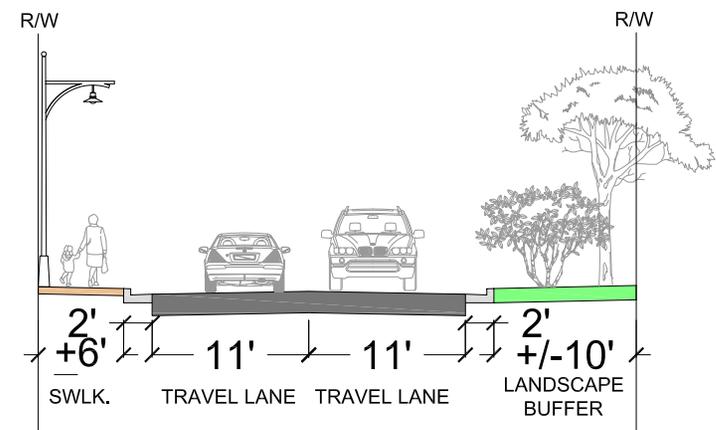
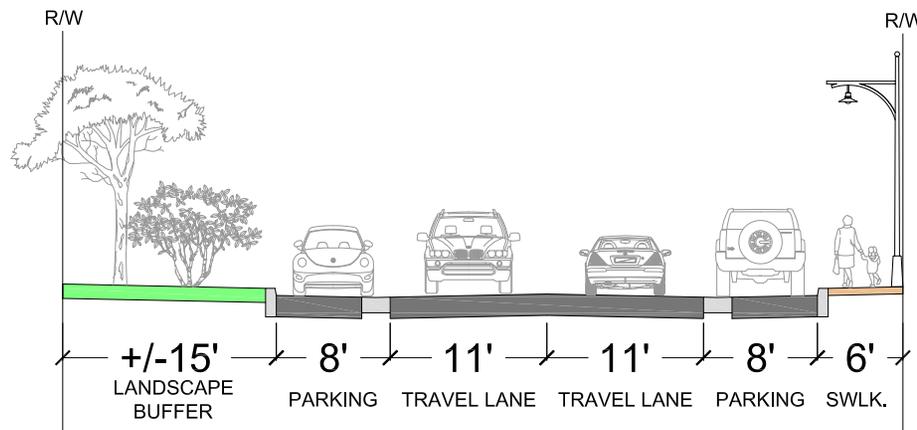
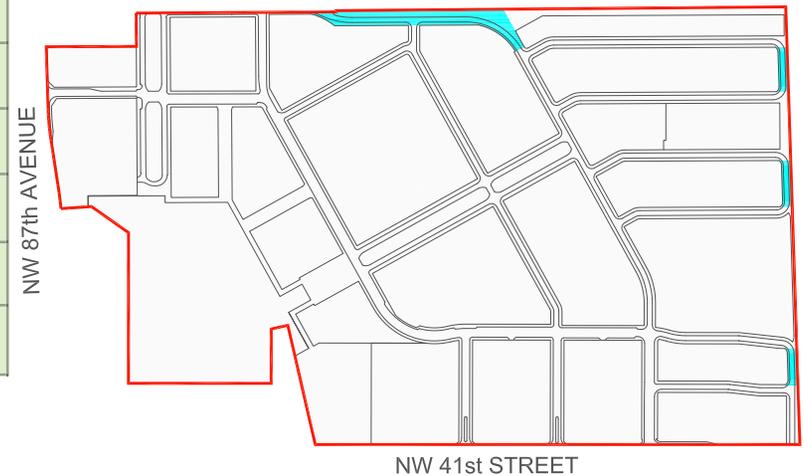
This cross section represents the minor streets through the Downtown Doral South community. It is designed as a low-volume street, with pedestrian sidewalks on both sides. Street lights shall be a minimum of 4' behind face of curb. Measurements include concrete curbs, as depicted below. Landscaping is depicted to provide street character only. Final cross section width will be determined at the time of Paving & Drainage Plan Approval.



4.6 Roadway Section- PERIMETER STREET

RIGHT OF WAY WIDTH	30'-45'
TRAFFIC FLOW	TWO WAY, TWO LANE, UN-DIVIDED
PARKING	VARIES
BICYCLE LANES	NONE
CURB TYPE	RAISED </td
PLANTER SPACING	N/A-ADJACENT TO BUFFERS
PLANTER TYPE	N/A
STREET LIGHTS	75' SPACING (ONE SIDE)
SIDEWALKS	DECORATIVE PAVERS
DRIVING SURFACE	ASPHALT

This cross section represents the perimeter streets through the Downtown Doral South community. It is designed as a low-volume street, with a pedestrian sidewalk on one side and a landscape buffer on the other. Street lights shall be a minimum of 4' behind face of curb. Measurements include concrete curbs, as depicted below. Landscaping is depicted to provide street character only. Final cross section width will be determined at the time of Paving & Drainage Plan Approval.



4.7 Roadway Section- FEEDER ROAD

RIGHT OF WAY WIDTH	50'
TRAFFIC FLOW	TWO WAY, TWO LANE, UN-DIVIDED (WITH TURN LANE)
PARKING	NONE
BICYCLE LANES	SHARED
CURB TYPE	RAISED
PLANTER SPACING	25' O.C.
PLANTER TYPE	4'X4'; METAL GRATE OR PLANTED BEDS
STREET LIGHTS	75' SPACING (ONE SIDE)
SIDEWALKS	LIGHT COLORED CONCRETE
DRIVING SURFACE	ASPHALT

This cross section represents the feeder road through the Downtown Doral South community. It is designed as a tree-lined boulevard, with a wide pedestrian sidewalk on both sides. Street lights shall be a minimum of 4' behind face of curb. Measurements include concrete curbs, as depicted below. Landscaping is depicted to provide street character only. Final cross section width will be determined at the time of Paving & Drainage Plan Approval.

