

- 1 1. The applicant shall provide adequate security (on site) during the entire
2 time of construction between the hours of 7:00 pm and 7:00 am; Monday
3 through Friday, and 24 hours during weekends and holidays; and
- 4 2. The applicant must receive approval for this application from the
5 Department of Environmental Resource Management; and
- 6 3. The applicant must receive approval for this application from Miami-Dade
7 Fire Rescue prior to submitting for building permits.
- 8 4. **Section 2.** This Resolution shall be recorded in the Public Records of
9 Miami-Dade County, Florida and the Applicant shall pay the costs of
10 recording said document.
- 11 **Section 3.** This resolution shall become effective upon its passage
12 and adoption by the City Council.

1 WHEREAS, a motion to approve the Resolution was offered by Vice
2 Mayor Cabrera who moved its adoption. The motion was seconded by
3 Councilman Van Name and upon being put to a vote, the vote was as follows:

4	Mayor Juan Carlos Bermudez	Yes
5	Vice Mayor Peter Cabrera	Yes
6	Councilmember Michael DiPietro	Yes
7	Councilwoman Sandra Ruiz	Abstain
8	Councilmember Robert Van Name	Yes

9
10 PASSED AND ADOPTED this 28th day of February, 2007.

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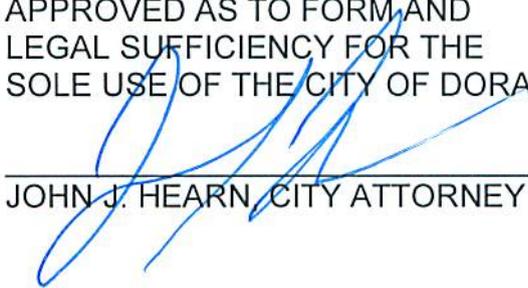
JUAN CARLOS BERMUDEZ, MAYOR

ATTEST:



BARBARA HERRERA, CITY CLERK

APPROVED AS TO FORM AND
LEGAL SUFFICIENCY FOR THE
SOLE USE OF THE CITY OF DORAL:



JOHN J. HEARN, CITY ATTORNEY

EXHIBIT “A”

MIAMI FREE ZONE EXPANSION

CV MIAMI, LLC

SITE WORK CONSTRUCTION DRAWINGS

SECTION 32, TOWNSHIP 53S., RANGE 40E.

CITY OF DORAL, FLORIDA

02/05/07
6129001 MIAMI FREE ZONE EXPANSION
NOT FOR CONSTRUCTION - ISSUED FOR PERMITTING

INDEX OF DRAWINGS BY LANGAN ENGINEERING					
DRAWING NO	SHEET NO.	DESCRIPTION	SCALE	DATE	LAST REVISED
00.01	1 OF 7	COVER SHEET	AS SHOWN	11/9/2006	01/08/07
16.01	2 OF 7	DEMOLITION PLAN	1" = 60'	11/9/2006	01/08/07
20.01	3 OF 7	SITE PLAN	1" = 60'	11/9/2006	01/08/07
21.01	4 OF 7	GRADING AND DRAINAGE PLAN	1" = 60'	11/9/2006	01/08/07
22.01	5 OF 7	UTILITY PLAN	1" = 60'	11/9/2006	01/08/07
28.01	6 OF 7	DETAILS	NTS	11/9/2006	01/08/07
28.02	7 OF 7	DETAILS	NTS	-	01/08/07

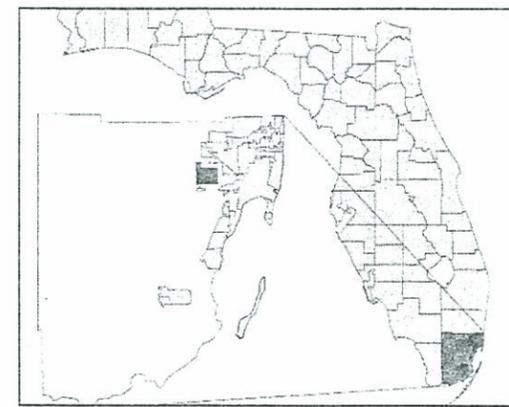
INDEX OF DRAWINGS BY FORD ARMENTEROS & MANUCCI, INC.					
DRAWING NO	SHEET NO.	DESCRIPTION	SCALE	DATE	LAST REVISED
2	1 OF 1	SURVEY	AS SHOWN	2/14/2006	-

INDEX OF DRAWINGS BY BORGES AND ASSOCIATES					
DRAWING NO	SHEET NO.	DESCRIPTION	SCALE	DATE	LAST REVISED
A-1	1 OF 113	GROUND FLOOR PLAN	AS SHOWN	11/9/2006	-
A-2	2 OF 113	2ND FLOOR PLAN	AS SHOWN	11/9/2006	-
A-3	3 OF 113	3RD FLOOR PLAN	AS SHOWN	11/9/2006	-
A-4	4 OF 113	4TH FLOOR PLAN	AS SHOWN	11/9/2006	-
A-5	5 OF 113	5TH FLOOR PLAN	AS SHOWN	11/9/2006	-
A-6	6 OF 113	6TH FLOOR PLAN	AS SHOWN	11/9/2006	-
A-7	7 OF 113	7TH FLOOR PLAN	AS SHOWN	11/9/2006	-
A-8	8 OF 113	NORTH AND SOUTH BUILDING ELEVATIONS	AS SHOWN	11/9/2006	-
A-9	9 OF 113	EAST AND WEST BUILDING ELEVATIONS	AS SHOWN	11/9/2006	-
A-10	10 OF 113	ENLARGED NORTH BUILDING ELEVATION	AS SHOWN	11/9/2006	-
A-11	11 OF 113	ENLARGED SOUTH BUILDING ELEVATION	AS SHOWN	11/9/2006	-
A-12	12 OF 113	SECTIONS	AS SHOWN	11/9/2006	-
A-13	13 OF 113	SECTIONS	AS SHOWN	11/9/2006	-

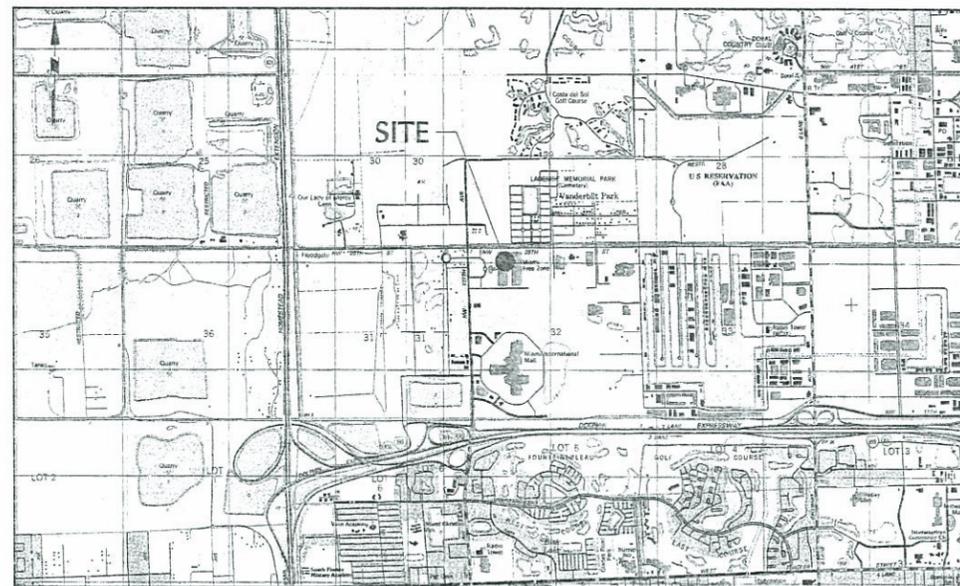
INDEX OF DRAWINGS BY WITKIN DESIGN GROUP					
DRAWING NO	SHEET NO.	DESCRIPTION	SCALE	DATE	LAST REVISED
L-1	1 OF 3	PLANTING PLAN FOR EASTERN HALF OF MIAMI FREE ZONE	AS SHOWN	11/9/2006	-
L-2	2 OF 3	PLANTING PLAN FOR WESTERN HALF OF MIAMI FREE ZONE	AS SHOWN	11/9/2006	-
L-3	3 OF 3	PLANTING DETAILS FOR MIAMI FREE ZONE	AS SHOWN	11/9/2006	-



VICINITY MAP
NTS



FLORIDA MAP
NTS



CITY MAP
SCALE: 1" = 400'

CONTRACTOR NOTES:

- THESE PLANS REPRESENT OVERALL SITING IMPROVEMENTS REQUIRED FOR PROJECT CONSTRUCTION. THE WORK TO BE PERFORMED IS AS SHOWN ON THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS MAY NOT COMPLETELY REPRESENT ALL SPECIFIC SITE DETAILS OF INSTALLATION REQUIRED FOR SITING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL IMPROVEMENTS REQUIRED TO ACHIEVE CONSTRUCTION DEPICTED ON THESE PLANS.
- THE CONTRACTOR SHALL PROVIDE WRITTEN REQUESTS FOR INFORMATION TO THE OWNER AND OWNER'S ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITING ITEM IF ANY SITING ITEM DEPICTED ON THE PLANS WARRANTS ADDITIONAL ENGINEERING INFORMATION REQUIRED FOR CONSTRUCTION AND IS NOT RELATED TO MEANS AND METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITING ITEMS INSTALLED DIFFERENTLY THAN INTENDED AS DEPICTED ON THE PLANS IN THE ABSENCE OF SUBMITTING AND RECEIVING REVIEWS AND / OR DIRECTION ON WRITTEN REQUESTS FOR INFORMATION.
- THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL MAKE AND SHALL BE DEEMED TO HAVE MADE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND OWNER'S ENGINEER PRIOR TO COMMENCEMENT OF WORK. THIS INCLUDES A TOPOGRAPHIC SURVEY OF ANY AREAS THE CONTRACTOR REQUIRES ADDITIONAL TOPOGRAPHIC INFORMATION. ANY CONDITIONS THAT DIFFER FROM THE EXISTING CONDITIONS SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND OWNER'S ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR A CHANGE ORDER.
- IT IS SPECIFICALLY NOTED THAT INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION ON THE DRAWINGS. CONTRACTOR SHALL SPECIFICALLY REVIEW ALL PLANS, PROFILES AND ANY INFORMATION / DATA TABLES FOR CONSISTENCY PRIOR TO CONSTRUCTION. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER'S ENGINEER IN WRITING REQUESTING CLARIFICATION PRIOR TO CONSTRUCTION.
- CONTRACTOR IS SPECIFICALLY NOTED THAT THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED ON SHEETS THROUGHOUT THE PLAN SET AND AVAILABLE REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW, AND ADHERE TO ALL APPLICABLE REQUIREMENTS.

LIST OF CONTACTS

<p>ARCHITECT: ROBERTO BEAUCHAMP BORGES AND ASSOCIATES WACHOVIA FINANCIAL CENTER 200 S BISCAYNE BOULEVARD SUITE 800 MIAMI, FLORIDA 33131 (305) 374-9216</p> <p>ATTORNEY: PATRICIA BALOYRA BROAD AND CASSEL, ATTORNEYS AT LAW ONE BISCAYNE TOWER 21ST FLOOR MIAMI, FLORIDA 33131 (305) 373-6470</p> <p>CIVIL ENGINEER: ERIC SCHWARZ, P.E. LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES 8100 OAK LANE SUITE 200 MIAMI LAKES, FLORIDA 33016 (305) 362-1166</p>	<p>STRUCTURAL ENGINEER: JIM EBERT TIMOTHY HAAS ENGINEERS 10195 NW 41ST STREET SUITE 201 MIAMI, FLORIDA 33178 (305) 592-7123</p> <p>TRAFFIC ENGINEER: RICHARD GARCIA, P.E. RICHARD GARCIA AND ASSOCIATES, INC. 13117 NW 107TH AVENUE SUITE 201 HALEAH GARDENS, FLORIDA 33018 (305) 595-7505</p> <p>CLIENT: STEVE BARTHEL, VP CV MIAMI, LLC 17 STATE STREET 9TH FLOOR NEW YORK, NEW YORK 10004 (212) 248-3111</p>	<p>GEOTECHNICAL ENGINEER: FORD ARMENTEROS LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES 8100 OAK LANE SUITE 200 MIAMI LAKES, FLORIDA 33016 (305) 362-1166</p> <p>SURVEYOR: FORD ARMENTEROS & MANUCCI, INC. 1950 NORTHWEST 94TH AVE, SECOND FLOOR MIAMI, FL 33172 (305) 477-6472</p> <p>LANDSCAPE ARCHITECT: JEFF ANDERSON WITKIN DESIGN GROUP 18833 NE 2ND AVENUE SUITE 105 NORTH MIAMI BEACH, FLORIDA 33162 (305) 650-8669</p>
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<p>APPLICANT: CV MIAMI, LLC 17 STATE STREET, 9TH FLOOR NEW YORK, NY 10004 (212) 248-3111</p>	<p>PLAN ENGINEER: LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, INC. ANDREW JACKSON BUILDING AT GOVERNORS SQUARE 8100 OAK LANE, SUITE 200 MIAMI LAKES, FL 33016 AUTHORIZED AGENT: R.S. MURALI PROJECT MANAGER: ERIC SCHWARZ, P.E. TELEPHONE: (305) 362-1166</p>
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Date	Description	No.
02/05/07	REVISED PER CITY OF DORAL REVIEW COMMENTS 2	3
01/08/07	REVISED PER CITY OF DORAL REVIEW COMMENTS	2
11/28/06	REVISED PER DERM REVIEW COMMENTS	1

E. Schwarz
2/5/07

ERIC SCHWARZ, P.E.
PROFESSIONAL ENGINEER F.L. LIC. No. 62196

LANGAN
ENGINEERING & ENVIRONMENTAL SERVICES

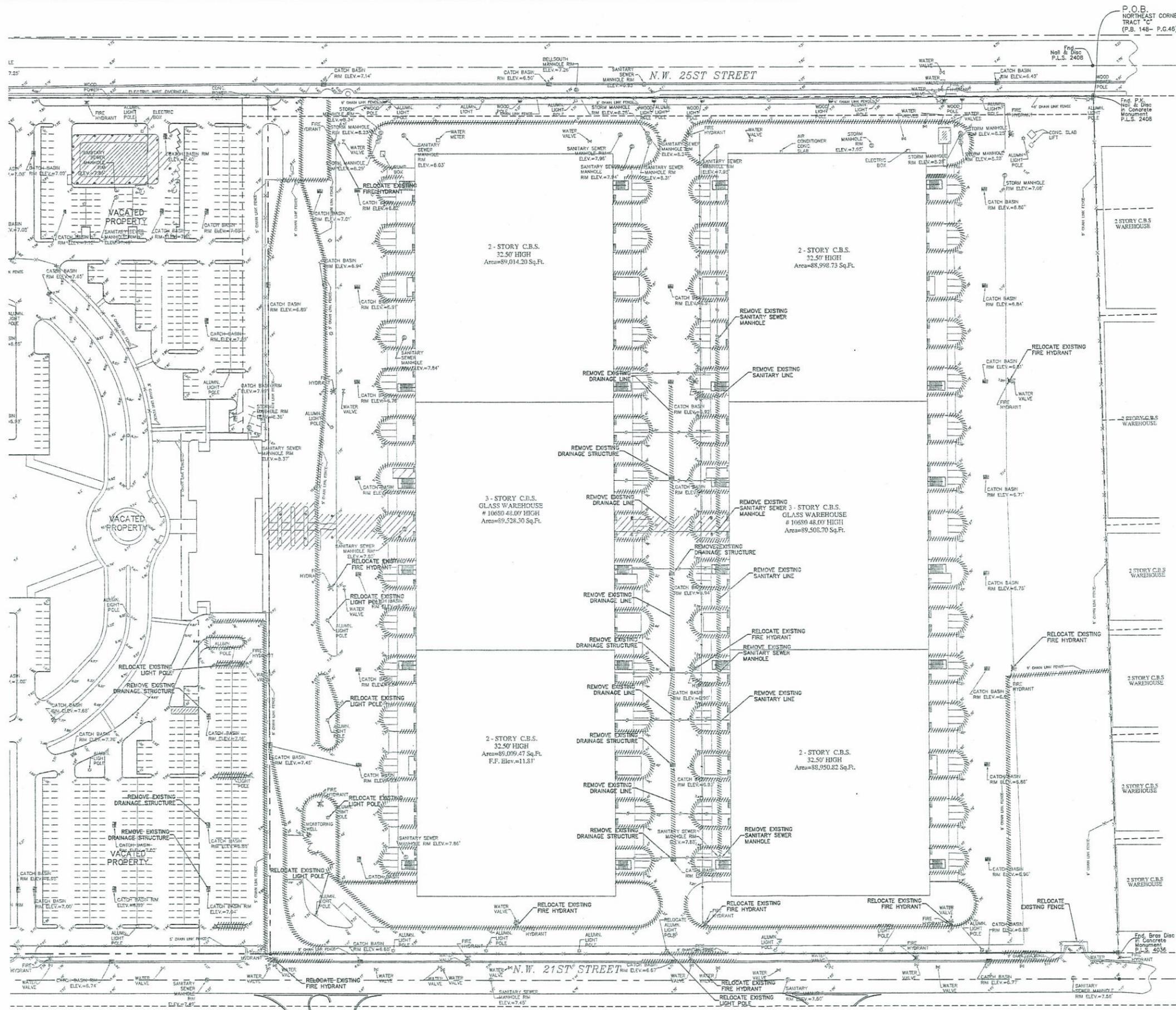
8100 Oak Lane, Suite 200
Miami Lakes, FL 33016
P: 305.362.1166 F: 305.362.5212
www.langan.com

NEW JERSEY PENNSYLVANIA NEW YORK CONNECTICUT FLORIDA NEVADA
FL Certificate of Authorization No: 00009001

Project
MIAMI FREE ZONE EXPANSION - CV MIAMI LLC
CITY OF DORAL
FLORIDA

Drawing Title
COVER SHEET

Project No.	6129001	Drawing No.	00.01
Date	NOVEMBER 09, 2006	Scale	AS SHOWN
Drn. By	TLT & MPC	Chkd. By	EB5
		1 Of 7	



LEGEND

- REMOVE EXISTING CURB
- REMOVE EXISTING FENCE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING LIGHT POLE

Date	Description	No.
02/05/07	REVISED PER CITY OF DORAL REVIEW COMMENTS 2	3
01/08/07	REVISED PER CITY OF DORAL REVIEW COMMENTS	2
11/28/06	REVISED PER DERM REVIEW COMMENTS	1

E. Schwarz
2/5/07

ERIC SCHWARZ, P.E.
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NEW JERSEY PENNSYLVANIA NEW YORK CONNECTICUT FLORIDA NEVADA
FL Certificate of Authorization No: 00000501

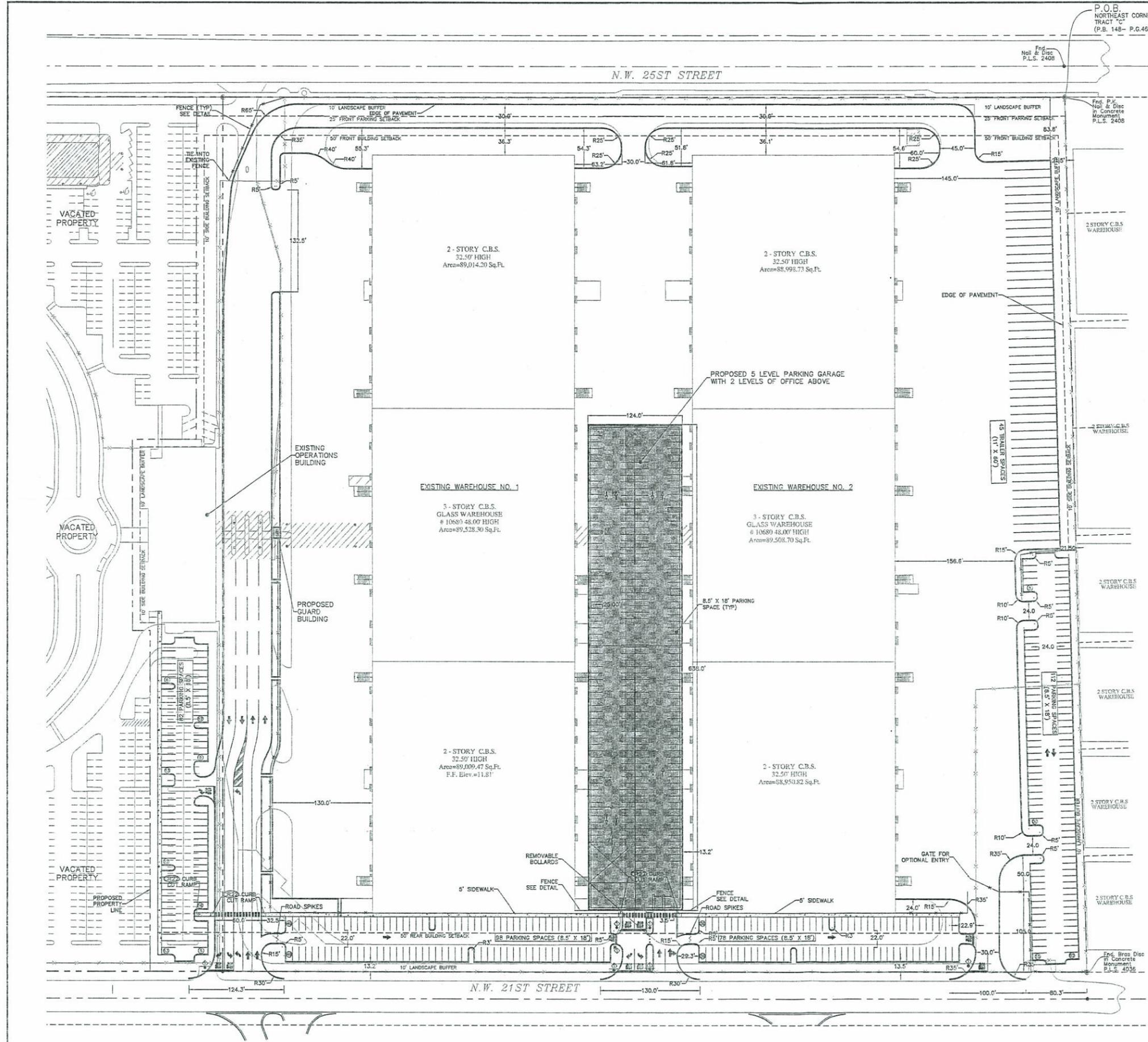
Project: **MIAMI FREE ZONE EXPANSION - CV MIAMI LLC**
CITY OF DORAL

MIAMI - DADE COUNTY FLORIDA
Drawing Title: **DEMOLITION PLAN**

Project No.	6129001	Drawing No.	
Date	NOVEMBER 09, 2005	Scale	1" = 60'
Drn. By	TLT	16.01	2 Of 7
Chkd. By	EB5		



NOT FOR CONSTRUCTION - ISSUED FOR PERMITTING 6129001 MIAMI FREE ZONE EXPANSION 02/05/07



MIAMI FREE ZONE EXPANSION ZONING TABLE (1)		
ZONING DISTRICT: IU-C Industrial District, Conditional		
ITEM	REQUIRED	PROPOSED
SITE		
Land Use:	Office / Warehouse	Office / Warehouse
Lot Area:	10 ACRE	30.89 ACRE
Minimum Parcel Area:	330 FT	1146 FT
Min. Lot Width:	10 FT	10 FT
Buffer Area Setback:		
BUILDING		
Building Setbacks:		
Min. Front Yard:	50 FT	76 FT
Min. Side Interior:	10 FT	226.0 FT
Min. Side Through Lot:	25 FT	76 FT
Min. Rear Yard:	50 FT	76.5 FT
PARKING & ACCESS		
Car Parking Space Size:	8.5 FT x 18 FT	8.5 FT x 18 FT
Standard Space Size:		
Car Parking Spaces:		
Min. Number of Spaces per Gross Floor Area:	1SP/1,000 SF Warehouse 1SP/300SF Office	1SP/1,000 SF Warehouse 1SP/300SF Office
Number of Spaces:	1,078	1,638
Parking Aisle Width, 90 degree parking:	24 FT	24 FT
Minimum Parking Setback from front lot line (25th Street):	25 FT	84 FT
Minimum Parking Setback from side lot lines:	5 FT	10 FT
Minimum Parking Setback from side street:	10 FT	11 FT
Lot Accesses:		
Min. Access Point Separation:	100 FT	300 FT
NOTES	(1) All data referenced from Miami-Dade County Code of Ordinances. (2) Pertains to a Through Lot, see Miami-Dade Code of Ordinances 33-1 Definitions	

PARKING SPACE SUMMARY			
BUILDING DESCRIPTION	GROSS AREA (SF)	PARKING RATIO	NUMBER OF SPACES
			REQUIRED
			PROPOSED
WAREHOUSES 1 & 2 (WEST AND EAST)	533,250	1 SPACE PER 1000 SF FOR THE FIRST 10000 SF, 1 SPACE PER 2000 SF > 10000 SF	272
MEZZANINE A & B (WEST AND EAST)	137,764	1 SPACE PER 2000 SF	69
MALL LEVEL (WEST MALL)	76,685	1 SPACE PER 300 SF	256
MALL LEVEL (EAST MALL)	76,773	1 SPACE PER 300 SF	256
NEW OFFICE AREAS (FLOORS 6 & 7)	163,483	1 SPACE PER 300 SF	545
OPERATIONS BUILDING	21,390	1 SPACE PER 300 SF	72
BRIDGE OFFICE SPACE	7,600	1 SPACE PER 300 SF	26
TOTAL			1,496
			1,637

1. BUILDING SQUARE FOOTAGE DETERMINED BY ARCHITECT AND PARKING RATIO IS REFERENCED FROM THE MIAMI-DADE LAND DEVELOPMENT CODE.
2. PARKING SPACES REQUIRED BASED ON GROSS SQUARE FOOTAGES OF RESPECTIVE USES.

FLOOR AREA RATIO (FAR) SUMMARY					
Site Area, sf	Floor	FAR	Total, sf	Existing Building Area, sf	Provided Gross Floor Area, sf
1345497.47	Office Floor 1 (Building Floor 6)	0.5	672,748.74	536,353.00	472,770.10
	Office Floor 2 (Building Floor 7)	0.25	338,374.37		

ALL INFORMATION REGARDING FAR PROVIDED BY: BORGES-ASSOCIATES, P.A.

Date	Description	No.
02/05/07	REVISED PER CITY OF DORAL REVIEW COMMENTS 2	3
01/08/07	REVISED PER CITY OF DORAL REVIEW COMMENTS	2
11/28/06	REVISED PER DERM REVIEW COMMENTS	1

LEGEND

- BOUNDARY LINE
- PROPOSED PARKING GARAGE
- PROPOSED CURB
- PROPOSED FENCE
- PROPOSED ROAD SPIKES
- ⊕ STOP SIGN (R1-1)
- ⊙ PARKING SPACE ROW COUNT
- ⊕ EXISTING INLET
- ⊕ EXISTING SANITARY MANHOLE
- ⊕ EXISTING VALVE
- ⊕ EXISTING LIGHT POLE

- REFERENCE NOTES:
- PARKING GARAGE STRUCTURE SHOWN FOR REFERENCE ONLY. CONSTRUCTION SHALL BE BASED ON DRAWINGS PREPARED BY THE PROJECT ARCHITECT/STRUCTURAL ENGINEER.
 - ACCESSIBLE PARKING SPACES ARE PROVIDED IN THE PARKING GARAGE STRUCTURE (DESIGN BY OTHERS).

E. Schwarz
2/5/07

ERIC SCHWARZ, P.E.
PROFESSIONAL ENGINEER F.L. LIC. No. 62196

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NEW JERSEY PENNSYLVANIA NEW YORK CONNECTICUT FLORIDA NEVADA
FL Certificate of Authorization No: 00000801

Project
MIAMI FREE ZONE EXPANSION - CV MIAMI LLC
CITY OF DORAL

MIAMI - DADE COUNTY FLORIDA

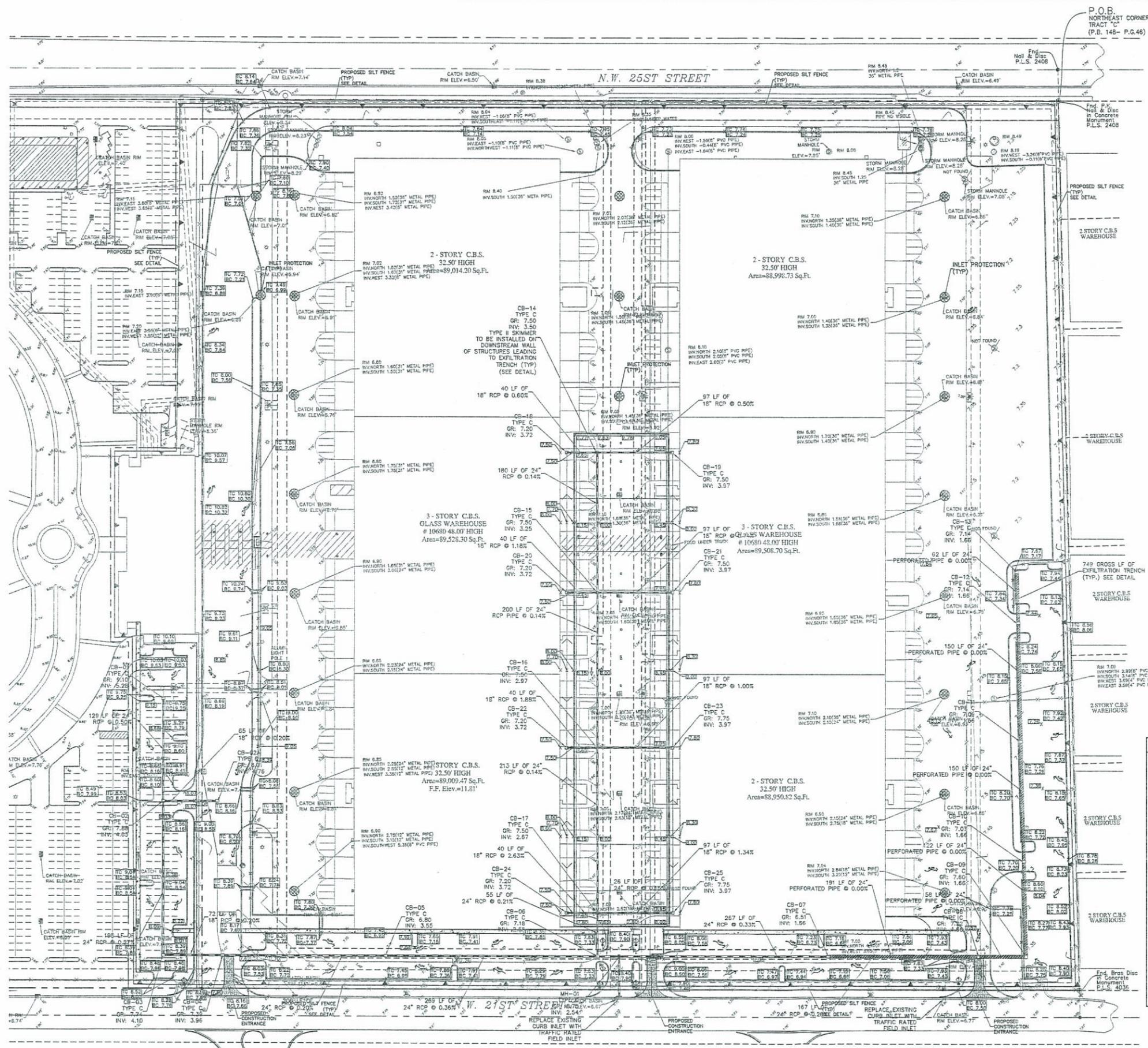
Drawing Title
SITE PLAN

Project No. 6129001 Drawing No.
Date NOVEMBER 09, 2006
Scale 1" = 60'
Drn. By TLT & MPC
Chkd. By EBS

20.01

3 Of 7





- GRADING AND DRAINAGE NOTES:**
1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN BY THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ELUCIDATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 2. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER, LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND TO ENSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE UTILITY COMPANIES AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
 3. STORM DRAINAGE PIPING TO UTILIZE WATER TIGHT JOINTS WHERE INDICATED.
 4. SEE DETAIL SHEETS FOR ALL PROPOSED STRUCTURE DETAILS.
 5. ALL STORM SEWERS AND STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH STATE OF FLORIDA, DEPARTMENT OF TRANSPORTATION STANDARDS OF ROADWAY CONSTRUCTION DETAILS.
 6. MINIMUM DEPTH OF COVER FOR ALL STORM SEWER PIPE IS SEVEN (7) INCHES MEASURED FROM BOTTOM OF BASE, UNLESS SHOWN OTHERWISE.
 7. EXCAVATED MATERIAL CONTAINING CONCRETE BLOCK OR STONE GREATER THAN SIX (6) INCHES IN LARGEST DIMENSION IS UNACCEPTABLE FOR FILL WITHIN THE PROPOSED BUILDING AND PARKING AREA.
 8. ALL SITEWORK AND EARTHWORK OPERATIONS CONDUCTED ON THE SITE TO BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT PREPARED BY THE OWNER'S GEOTECHNICAL ENGINEER.
 9. COMPACTION CRITERIA FOR FILL PLACED IN THE FOLLOWING AREAS SHALL MEET OR EXCEED THE FOLLOWING MINIMUM PERCENTAGE OF MAXIMUM MOISTURE PROCTOR DENSITY AS DETERMINED BY ASTM D-1557 USED ON REPRESENTATIVE SOIL SAMPLES, UNLESS MORE STRINGENT CRITERIA GIVEN ELSEWHERE.

Fill Area	Percent of Maximum Modified Proctor Dry Density
Building Footprint	95%
Pavement and Roadways	98%
Paved Parking Areas	95%
Shoulder	95%
Landscape Areas	93%
Trench Backfill	Same as Surrounding Areas

Fill Area	Percent of Maximum Modified Proctor Dry Density
Building Footprint	95%
Pavement and Roadways	98%
Paved Parking Areas	95%
Shoulder	95%
Landscape Areas	93%
Trench Backfill	Same as Surrounding Areas

10. PROTECT SUBGRADE FROM EXCESSIVE WHEEL LOADING DURING CONSTRUCTION, INCLUDING CONCRETE TRUCKS AND DUMP TRUCKS.
11. REMOVE AREAS OF FINISHED SUBGRADE FOUND TO HAVE INSUFFICIENT COMPACTION DENSITY TO A DEPTH NECESSARY AND REPLACE IN A MANNER THAT WILL COMPLY WITH COMPACTION REQUIREMENTS BY USE OF MATERIAL EQUAL TO OR BETTER THAN BEST SUBGRADE MATERIAL ON SITE. SURFACE OF SUBGRADE, AFTER COMPACTION SHALL BE HOMOGENEOUS, SMOOTH, STABLE, AND TRUE TO GRADE AND CROSS-SECTION.
12. GRADE ALL AREAS WHERE FINISH GRADE ELEVATIONS OR CONTOURS ARE INDICATED ON DRAWINGS, OTHER THAN PAVED AREAS AND BULKHEADS, INCLUDING EXCAVATED AREAS FILL AND TRANSITION AREAS AND LANDSCAPE AREAS. GRADED AREAS SHALL BE UNIFORM AND SMOOTH, FREE FROM ROCS, DEBRIS, OR IRREGULAR SURFACE CHANGES. FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.10 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUBGRADE ELEVATIONS, AND ALL FINISH SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS. FINISH DITCHES SHALL BE GRADED TO ALLOW FOR PROPER DRAINAGE WITHOUT FLOODING AND IN A MANNER THAT WILL MINIMIZE EROSION POTENTIAL.
13. BUILDING AREA SUBGRADE PAD SHALL BE THAT PORTION OF SITE DIRECTLY BENEATH AND TEN FEET (10') BEYOND THE BUILDING AND APPURTENANCES INCLUDING THE LIMITS OF ANY FUTURE BUILDING EXPANSION AREAS AS SHOWN ON THE SITE/CIVIL DRAWINGS OR AS SPECIFIED IN THE GEOTECHNICAL REPORT.
14. TRENCH DEPTH REQUIREMENTS MEASURED FROM FINISHED GRADE OR PAVED SURFACE SHALL MEET THE FOLLOWING REQUIREMENTS OR APPLICABLE CODES AND ORDINANCES:
 - A. WATER MAINS: 36 INCHES TO TOP OF PIPE BARREL.
 - B. SANITARY SEWER: ELEVATIONS AND GRADES AS INDICATED ON DRAWINGS.
 - C. STORM SEWER: DEPTHS, ELEVATIONS, AND GRADES AS SHOWN ON DRAWINGS.
 - D. ELECTRICAL CONDUITS: 24 INCHES MINIMUM TO TOP OF CONDUIT OR AS REQUIRED BY NEC 300-5, NEC 710-36 CODES, OR THE LOCAL UTILITY COMPANY REQUIREMENTS, WHICHEVER IS DEEPER.
 - E. TV CONDUITS: 18 INCHES MINIMUM TO TOP OF CONDUIT OR AS REQUIRED BY THE LOCAL UTILITY COMPANY, WHICHEVER IS DEEPER.
 - F. TELEPHONE CONDUITS: 18 INCHES MINIMUM TO TOP OF CONDUIT OR AS REQUIRED BY THE LOCAL UTILITY COMPANY, WHICHEVER IS DEEPER.
 - G. GAS MAINS AND SERVICE: 30 INCHES MINIMUM TO TOP OF PIPE, OR AS REQUIRED BY THE LOCAL UTILITY COMPANY, WHICHEVER IS DEEPER.
15. ALL CONCRETE, UNLESS OTHERWISE NOTED OR SPECIFIED BY REGULATORY AUTHORITIES, SHALL BE 3000 PSI.
16. FINISHED GRADE ELEVATIONS SHALL NOT DEVIATE FROM THE PROPOSED ELEVATIONS SHOWN ON THE GRADING AND DRAINAGE PLANS BY MORE THAN 0.10 FEET.

LEGEND

- BOUNDARY LINE
- PROPOSED STORM LINE
- PROPOSED MANHOLE
- ▲ PROPOSED SILT FENCE
- PROPOSED INLET PROTECTION
- (with elevation) PROPOSED SPOT ELEVATION
- (with elevation) EXISTING SPOT ELEVATION
- DRAINAGE GENERAL FLOW PATH
- PROPOSED EXFILTRATION TRENCH
- EXISTING EASEMENT
- PROPOSED DRAINAGE INLET
- EXISTING DRAINAGE INLET
- EXISTING MANHOLE
- EXISTING VALVE
- EXISTING LIGHT POLE
- EXISTING FIRE HYDRANT

Date	Description	No.
02/05/07	REVISED PER CITY OF DORAL REVIEW COMMENTS 2	3
01/08/07	REVISED PER CITY OF DORAL REVIEW COMMENTS	2
11/28/06	REVISED PER DERM REVIEW COMMENTS	1

E. Schwarz
2/5/07

ERIC SCHWARZ, P.E.
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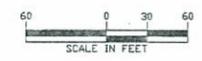
NEW JERSEY PENNSYLVANIA NEW YORK CONNECTICUT FLORIDA INDIANA
FL Certificate of Authorization No. 00009801

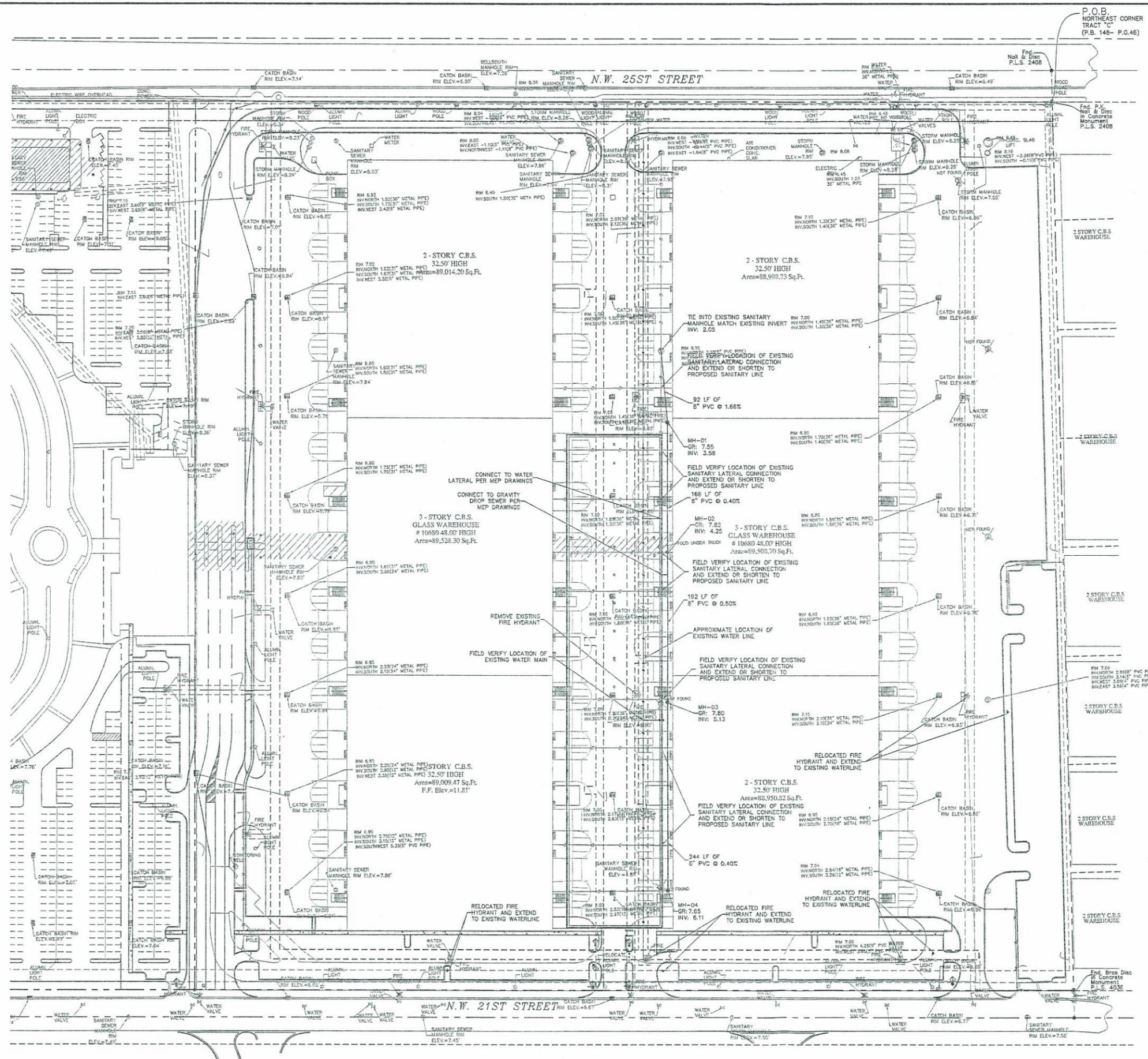
Project
MIAMI FREE ZONE EXPANSION - CV MIAMI LLC
CITY OF DORAL

MIAMI - DADE COUNTY FLORIDA

Drawing Title
GRADING AND DRAINAGE PLAN

Project No.	6129001	Drawing No.	
Date	NOVEMBER 09, 2006	Scale	1" = 60'
Scale	1" = 60'	21.01	
Dwn. By	TLT & MPC		
Chkd. By	EBS		4 Of 7





- SANITARY SEWER NOTES:**
1. ALL SANITARY GRAVITY SEWER PIPE ON THE SITE SHALL BE PVC SDR35.
 2. SEE DETAIL SHEET FOR BEDDING REQUIREMENTS. APPROVED BACKFILL FOR PIPE TRENCHES SHALL BE PLACED IN 8 INCH LAYERS AND COMPACTED WITH A MINIMUM OF 4 COVERAGES OF A MERO PLUS CM 20 OR EQUIVALENT. IN ADDITION, THE BACKFILL SHALL BE COMPACTED TO A MINIMUM 95 PERCENT PROCTOR DENSITY. CARE SHOULD BE TAKEN TO FILL ALL VOIDS AROUND THE PIPE. BACKFILL SHALL CONSIST OF GRANULAR SOIL FREE FROM LIMBS, LARGE STONES, BOULDERS OR OTHER UNSUITABLE MATERIALS.
 3. AT THE POINT WHERE THE PROPOSED SEWER CONSTRUCTION MEETS A LIVE OR EXISTING SEWER, THE NEW SEWER SHALL BE SECURELY PLUGGED UNTIL THE ENTIRE NEW SEWER CONSTRUCTION IS COMPLETED AND READY FOR FINAL INSPECTION.
 4. THE CONTRACTOR SHALL APPROPRIATELY NOTIFY THE ENGINEER, GOVERNMENTAL AGENCIES AND ALL OTHER APPROPRIATE AGENCIES WHEN WORK IS TO COMMENCE.
 5. ALL AREAS DISTURBED BY CONSTRUCTION WILL BE RESTORED TO ORIGINAL CONDITION UPON COMPLETION OF WORK.
 6. THE GRAVITY SEWER LINE SHALL BE TESTED FOR INFILTRATION BY MEASURING FLOW OVER A 1-NOTCH OR TESTED FOR EXFILTRATION BY FILLING THE LINE WITH WATER TO 10 FEET ABOVE THE INVERT OF THE MANHOLE. THE LIMITING RATE OF INFILTRATION SHALL NOT EXCEED 200 GALLONS PER 1-INCH DIAMETER PER MILE PER 24 HOURS. AN ALTERNATE TESTING METHOD SHALL BE AIR PRESSURE TESTING AT 5 PSI FOR A DURATION OF 10 MINUTES YIELDING NO OBSERVED DROP IN PRESSURE.
 7. DROP MANHOLE TO BE UTILIZED WHERE INVERT IN IS TWO FEET OR MORE ABOVE INVERT OUT.
 8. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR CONSTRUCTION AND SUPPLY EQUIPMENT FOR ALL TESTS ON SANITARY SEWER LINES.
 9. SANITARY CLEANOUTS SHALL BE PROVIDED WITHIN 5 FEET OF ALL BUILDING CONNECTIONS.
 10. CUT SHEETS AND SHOP DRAWINGS OF ALL ITEMS PERTAINING TO THE CONSTRUCTION OF THE SANITARY SEWER SHALL BE SUBMITTED TO OWNER AND ENGINEER OF RECORD FOR REVIEW. THIS INCLUDES, BUT IS NOT LIMITED TO: MANHOLES, GREASE TRAPS, PUMP STATIONS, FRAMES, COVERS, PIPE, FITTINGS, BACKFILL MATERIAL, BLACKTOP, ETC.
 11. EXISTING SEWER SYSTEM ESTIMATED FROM ORIGINAL DRAWINGS AND SURVEY.

- WATER NOTES:**
1. ALL WATER LINE SYSTEM COMPONENTS (PIPES, VALVES, HYDRANTS, ETC.) SHALL CONFORM TO THE SPECIFICATIONS OF THE LOCAL GOVERNMENTAL AGENCY, THE LOCAL WATER COMPANY, AND THE LOCAL FIRE DEPARTMENT.
 2. MINIMUM EARTH COVER OVER TOP OF PIPE SHALL BE 3 FEET.
 3. THRUST BLOCKS SHALL BE PROVIDED AT ALL TEES, ELBOWS, AND PLUGS. SEE DETAIL SHEET FOR SIZING REQUIREMENTS.
 4. SEE DETAIL SHEET FOR BEDDING REQUIREMENTS. APPROVED BACKFILL FOR PIPE TRENCHES SHALL BE PLACED IN 8 INCH LAYERS AND COMPACTED WITH A MINIMUM OF 4 COVERAGES OF A MERO PLUS CM 20 OR EQUIVALENT. IN ADDITION, THE BACKFILL SHALL BE COMPACTED TO A MINIMUM 95 PERCENT MODIFIED PROCTOR DENSITY. CARE SHOULD BE TAKEN TO FILL ALL VOIDS AROUND THE PIPE. BACKFILL SHALL CONSIST OF GRANULAR SOIL, FREE FROM LIMBS, LARGE STONES, BOULDERS OR OTHER UNSUITABLE MATERIALS.
 5. ALL WATER PIPING SHALL BE PRESSURE TESTED IN ACCORDANCE WITH AWWA C600-99, SECTION 4 AT 1.5 TIMES THE MAXIMUM PRESSURE OF THE SYSTEM AT THE POINT OF TESTING. IN NO CASE SHALL PIPELINE SECTIONS BE TESTED AT LESS THAN 100 PSIG, NOR GREATER THAN 250 PSIG.
 6. ALL NEW WATER LINES SHALL BE STERILIZED BEFORE BEING PUT INTO SERVICE AND CONNECTION MADE TO EXISTING PIPE IN ACCORDANCE WITH AWWA C651-99.
 7. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO ORIGINAL CONDITION UPON COMPLETION OF WORK.
 8. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR CONSTRUCTION AND SUPPLY EQUIPMENT FOR ALL TESTS ON WATER LINES.
 9. ALL WATER SERVICES AND PLUMBING TO CONFORM TO PLUMBING SUBCODE OF THE APPROPRIATE JURISDICTION BODY.
 10. AFTER DISINFECTION, AND BEFORE THE WATER SYSTEM IS PLACED IN SERVICE, BACTERIOLOGICAL SAMPLES SHALL BE TAKEN AND TESTED IN ACCORDANCE WITH AWWA C601-01.
 11. CONTRACTOR SHALL PROVIDE OWNER'S ENGINEER WITH AWWA C606 AND HST-01 CERTIFICATIONS.
 12. WATER PIPE 3" AND GREATER SHALL BE CLASS 52 DIP, WATER PIPE LESS THAN 3" SHALL BE COPPER TYPE K.
 13. EXISTING WATERLINE LOCATION ESTIMATED FROM SURVEY LOCATION OF EXISTING WATER VALVES AND EASEMENTS. CONTRACTOR SHALL TEST PIT AND FIELD LOCATED ACTUAL WATER LINE IN ENOUGH LOCATIONS FOR HIM TO BE SATISFIED PRIOR TO ANY OTHER SUBSURFACE DISTURBANCE INCLUDING DRILLING OR PILE DRIVING.

LEGEND

	PROPOSED STORM LINE
	PROPOSED DRAINAGE INLET
	PROPOSED MANHOLE
	PROPOSED FIRE HYDRANT
	PROPOSED SANITARY LINE
	EXISTING SANITARY LINE
	EXISTING WATER LINE
	EXISTING DRAINAGE INLET
	EXISTING MANHOLE
	EXISTING VALVE
	EXISTING LIGHT POLE
	EXISTING FIRE HYDRANT

Date	Description	No.
02/05/07	REVISED PER CITY OF DORAL REVIEW COMMENTS	3
01/08/07	REVISED PER CITY OF DORAL REVIEW COMMENTS	2
11/28/06	REVISED PER DERM REVIEW COMMENTS	1

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2/5/07

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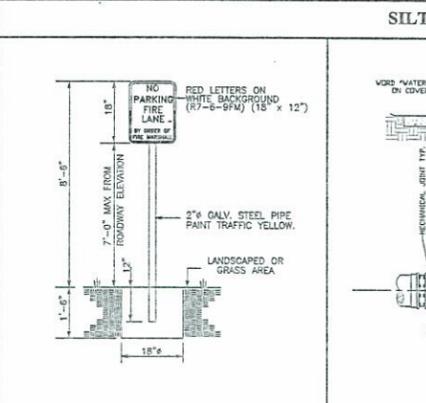
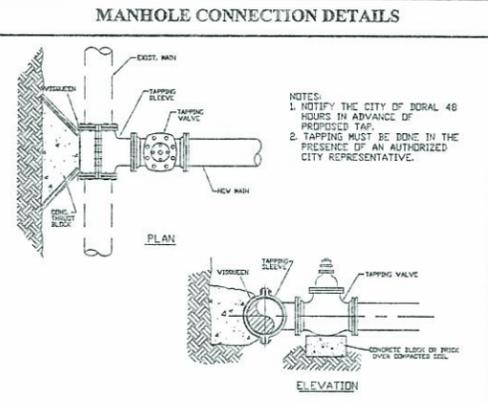
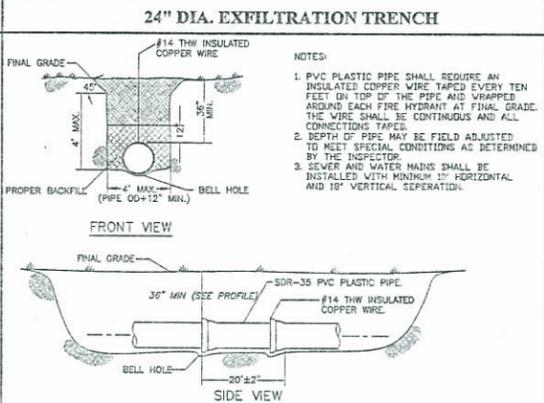
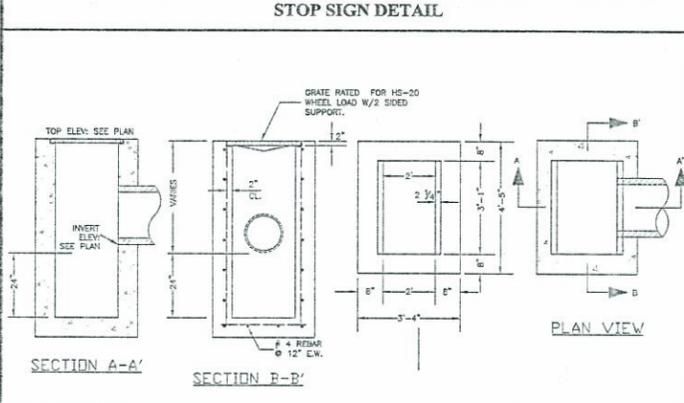
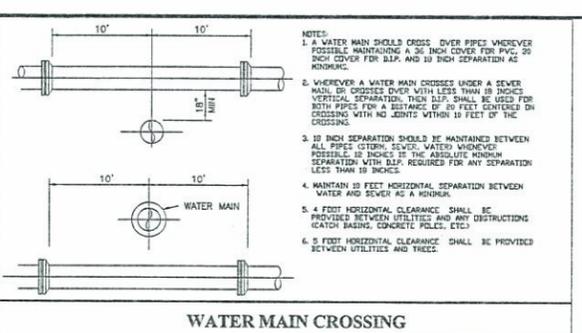
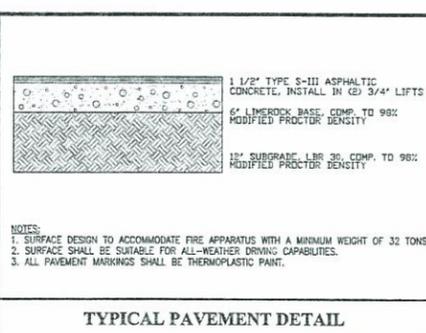
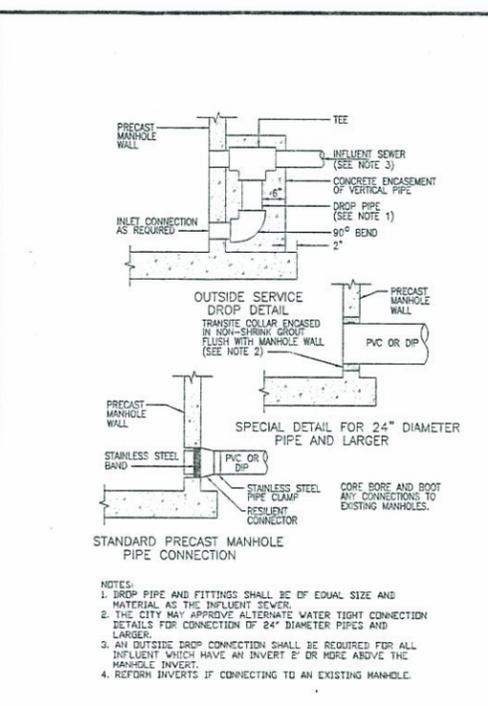
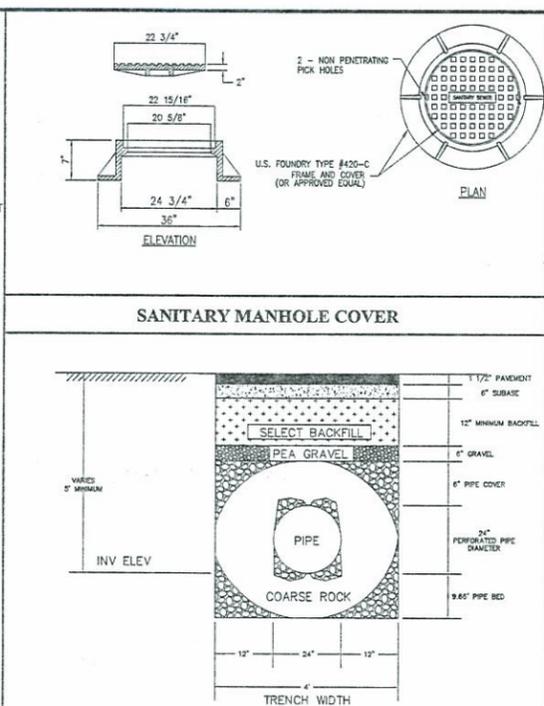
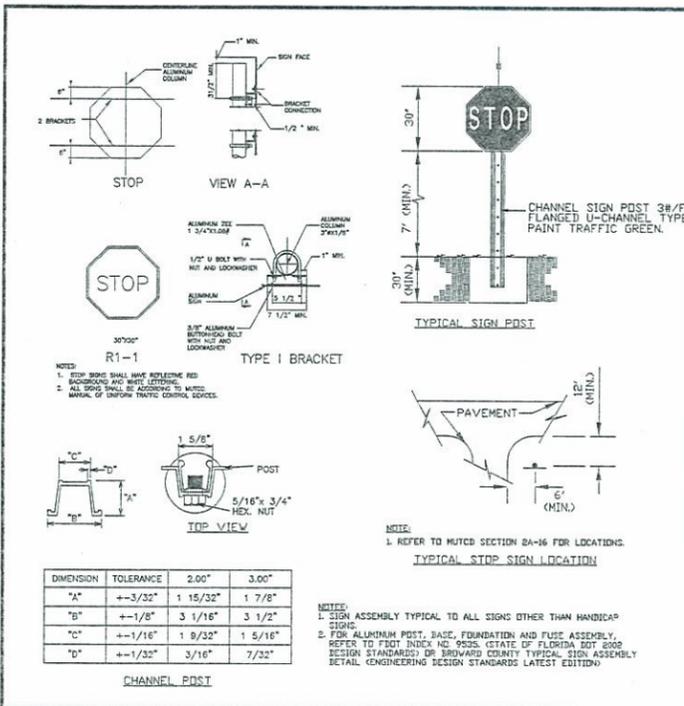
Project
MIAMI FREE ZONE EXPANSION - CV MIAMI LLC
CITY OF DORAL

MIAMI - DADE COUNTY FLORIDA
Drawing Title

UTILITY PLAN

Project No.	6129001	Drawing No.	22.01
Date	NOVEMBER 09, 2006	Scale	1" = 60'
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STANDARD PARKING SPACE STRIPING

Date	Description	No.
02/05/07	REVISED PER CITY OF DORAL REVIEW COMMENTS 2	3
01/08/07	REVISED PER CITY OF DORAL REVIEW COMMENTS	2
11/28/06	REVISED PER DERM REVIEW COMMENTS	1

Revisions

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FL Certificate of Authorization No. 00000601

Project: **MIAMI FREE ZONE EXPANSION - CV MIAMI LLC**
MIAMI - DADE COUNTY FLORIDA

Drawing Title: **DETAILS**

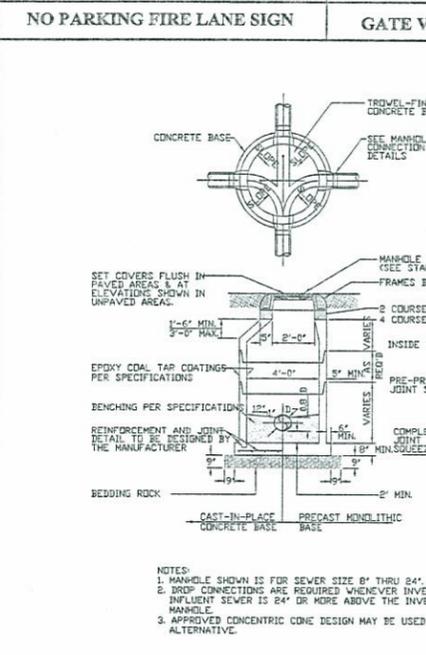
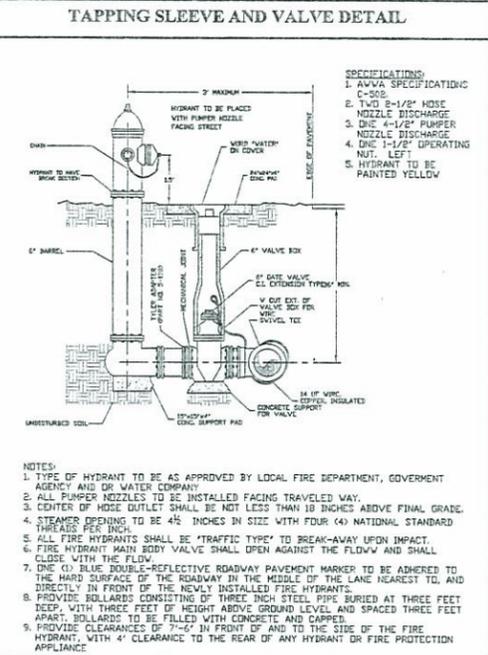
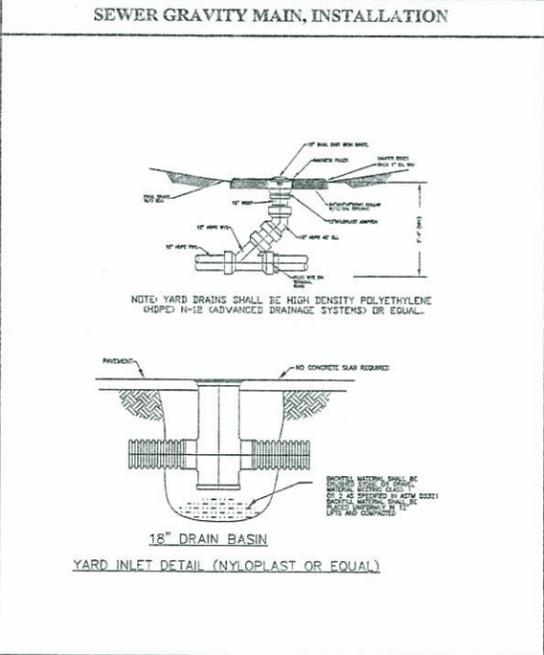
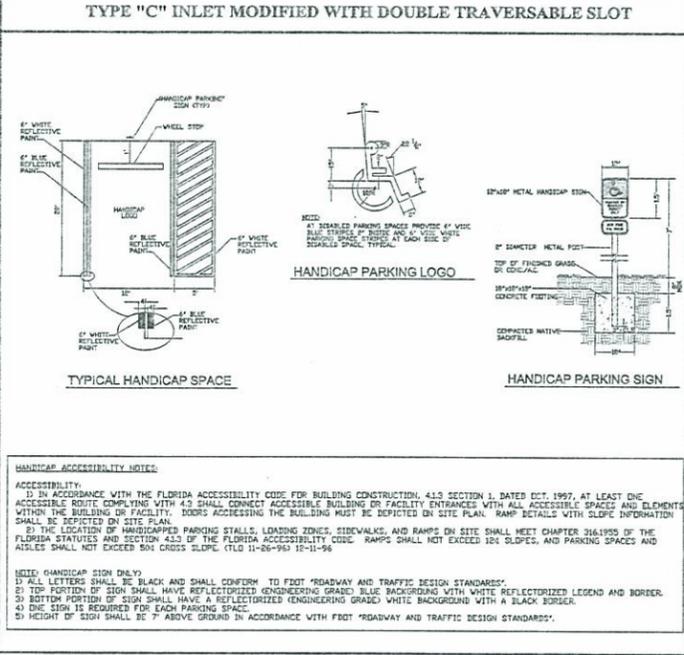
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Date: NOVEMBER 09, 2006

Scale: NTS

Drn. By: TLT & MPC

Chkd. By: EBS 6 Of 7



MIAMI FREE ZONE EXPANSION - CV MIAMI LLC
MIAMI - DADE COUNTY FLORIDA

Drawing Title: **DETAILS**

Project No. 6129001 Drawing No. **28.01**

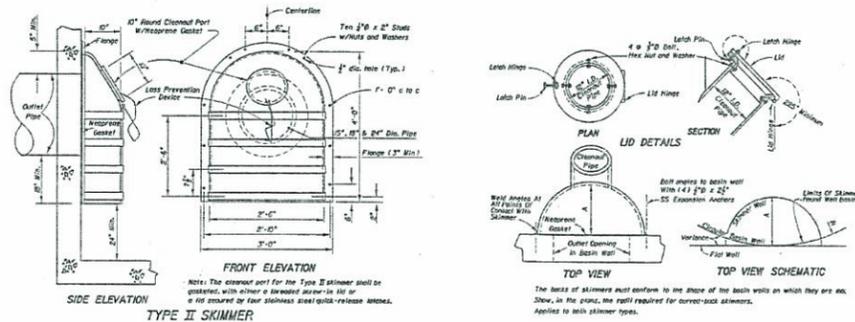
Date: NOVEMBER 09, 2006

Scale: NTS

Drn. By: TLT & MPC

Chkd. By: EBS 6 Of 7

6129001 MIAMI FREE ZONE EXPANSION 02/05/07 NOT FOR CONSTRUCTION - ISSUED FOR PERMITTING



GENERAL NOTES

- The French-Drain Skimmer is a bottom cover, mounted on a metal in a catch-basin, that prevents oil and floating debris from entering the sewer. Use this skimmer in French-drain catch-basins and in other locations where there is a need to prevent oil, debris or other floating contaminants from entering catch-basins through sewer pipes.
- Place skimmer gasket material between the skimmer and the catch-basin at all points of contact. Trim the gasket evenly to cover 1/2 inch beyond the joint on all sides.
- Skimmer outlet, cleaned pipe and valves shall be protected by installation of either galvanized steel, aluminum, stainless steel, polyethylene, fiberglass or nonmetallic materials. All these components, other than skimmer, shall be hot-dip galvanized.
- Mounting hardware, valves and valves shall be an approved steel cast prevention device shall be either stainless steel or bronze. All valves shall be installed with standard identification tags for operation and maintenance.
- Water used in construction of skimmer bodies (huffing) and skimmer shall comply with Standard Specification 943 for steel, 945 for aluminum or 948 for plastic.
- All parts for fabrication and finishing of French-drain skimmer shall be included in the cost of the basin in which it is installed. Skimmer shall be set for an existing structure.
- Plastic skimmers shall contain a minimum of 1.5% by weight of carbon black for UV protection.

DESIGN NOTES

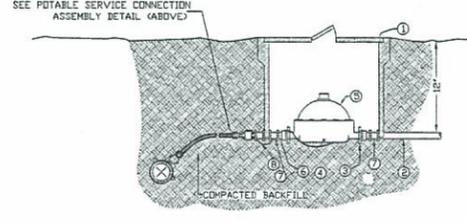
- The contractor may submit an alternative design pre-fabricated French-Drain Skimmer for approval by the Engineer.
- Show, in the plans, the location of the basin and indicate the interior side of the basin on which a skimmer will be installed.
- Type I Skimmer dimensions shall be based on the outlet pipe diameter as shown in the dimension table.
- Type II Skimmers are to be used only with outlet pipe diameters of 12", 18", 24", and 30".

NOTES

- To be installed on downstream wall of structure connected to exfiltration trench.

METER ASSEMBLY (5/8" or 3/4")

ITEM	QUAN.	DESCRIPTION
1	1	5/8" OR 3/4" BOX METER, WATER
2	1	3/4" X 1/2" NIPPLE, PVC (SCH-40)
3	1	5/8" YUK. METER, EXPANSION CONNECTION
4	1	3/8" OR 3/4" YUK. METER
5	1	5/8" OR 3/4" YUK. WATER
6	1	5/8" VALVE, CURB STOP
7	2	3/4" ADAPTER, PVC (SLIP X RPT.)
8	2	1/4" WIRE, COPPER, INSULATED



NOTES

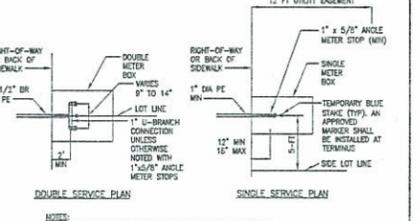
- THE MIAMI-DADE WATER AND SEWER DEPARTMENT WILL INSTALL METER ASSEMBLIES UNLESS OTHERWISE SPECIFIED IN THE APPROVED DRAWINGS.

METER ASSEMBLY (1")

ITEM	QUAN.	DESCRIPTION
1	1	1" BOX METER, WATER
2	1	1" X 3/4" NIPPLE, PVC (SCH-40)
3	1	1" YUK. METER, EXPANSION CONNECTION
4	1	1" YUK. METER
5	1	1" YUK. WATER
6	1	1" VALVE, CURB STOP
7	2	3/4" ADAPTER, PVC (SLIP X RPT.)
8	2	1/4" WIRE, COPPER, INSULATED

TYPE II SKIMMER PER FDOT INDEX 241

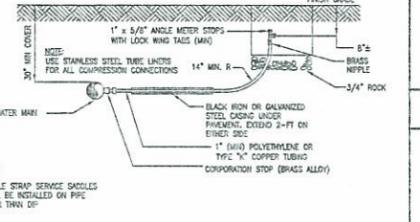
WATER METER ASSEMBLY 1-1/2", 2"



DOUBLE SERVICE PLAN

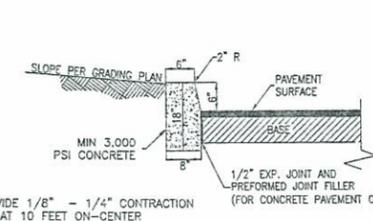
NOTES

- WATER METER TO BE INSTALLED BY THE CITY METER BOX AND SPACER TO BE SUPPLIED BY AND INSTALLED BY THE DOUBLE BACKFLOW PREVENTER SHALL BE INSTALLED DOWNSTREAM OF METER PER CODE. 1" MIN. SEPARATION SHALL BE MAINTAINED BETWEEN SERVICE SADDLES.
- SHALL ADJUSTED TO BE USED ON BACKFLOW STOP OF WATER.



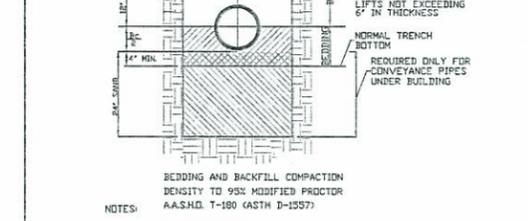
NOTE:

- DOUBLE STOP SERVICE SADDLES SHALL BE INSTALLED ON PIPE OTHER THAN 12"



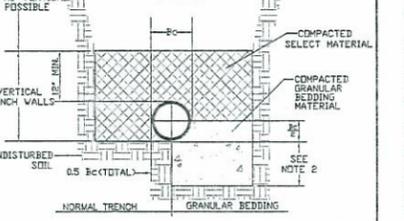
NOTE:

- PROVIDE 1/8" - 1/4" CONTRACTION JOINTS AT 10 FEET ON-CENTER.



NOTES:

- DIMENSION Bc = PIPE O.D. DIMENSION Bt = TRENCH WIDTH AT TOP OF PIPE. MAXIMUM Bt = Bc + 30". MINIMUM Bt = MAXIMUM DIMENSION OF BELL + 6" (UNSHEETED TRENCH).
- DEPTH FOR REMOVAL FOR UNSUITABLE MATERIAL SHALL BE AS REQUIRED TO REACH SUITABLE FOUNDATION. FOR ROCK OR OTHER NON-CUSHIONING MATERIAL, DEPTH SHALL BE 6" BELOW BOTTOM OF UTILITY.
- ALL BACKFILL AND SELECT MATERIAL UNDER ALL ROADWAYS, DRIVES (INCLUDING DIRT DRIVES), AND PARKING AREAS SHALL BE COMPACTED TO 98% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (AASHTO T-180). BACKFILL AND SELECT MATERIAL UNDER ALL OTHER AREAS SHALL BE COMPACTED AS FOLLOWS: FROM BOTTOM OF TRENCH TO 12" ABOVE TOP OF PIPE - 95% OF MODIFIED PROCTOR MAXIMUM DRY DENSITY (AASHTO T-180). FROM 12" ABOVE TOP OF PIPE TO TOP OF BACKFILL - 90% OF MODIFIED PROCTOR MAXIMUM DRY DENSITY (AASHTO T-180).



NOTES:

- CLASS 1" BEDDING NORMAL CONDITIONS.

EROSION AND SEDIMENT CONTROL NOTES:

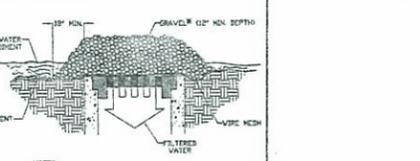
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN SILT FENCE AROUND THE PERIMETER OF ALL EARTH DISTURBANCES. THE SILT FENCE SHALL BE INSPECTED AND REPAIRED FOLLOWING EVERY RAINFALL EVENT. SILT FENCES SHALL REMAIN IN PLACE UNTIL PERMANENT STABILIZATION OF DISTURBED AREAS IS COMPLETED.
- THE CONTRACTOR SHALL PROVIDE SILTATION REDUCTION DEVICES FOR THE DISCHARGE FROM ANY DEWATERING PROCESS SO THAT DIRECT DISCHARGE DOES NOT OCCUR.
- THE CONTRACTOR SHALL CHECK ALL EROSION AND SILTATION CONTROL DEVICES AFTER EACH RAINFALL AND REPAIR OR REPLACE THEM AS REQUIRED.
- THE REQUIREMENTS LISTED ABOVE SHALL BE CONSIDERED MINIMUM REQUIREMENTS AND THE CONTRACTOR SHALL USE WHATEVER METHODS HE DEEMS NECESSARY TO PREVENT EROSION AND SILTATION AS MAY BE REQUIRED FOR THE PROJECT, AND APPROVED BY THE AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL CONTROL ALL DUST ORIGINATING ON THIS PROJECT BY WATERING OR OTHER METHODS AS APPROVED BY THE OWNER.
- ALL PRACTICABLE AND NECESSARY EFFORT, INCLUDING BUT NOT LIMITED TO THE USE OF STAKED HAY BALES OR STAKED SILT SCREEN BARRIERS, SHALL BE TAKEN DURING CONSTRUCTION TO CONTROL AND PREVENT EROSION AND TRANSPORT OF SEDIMENT MATERIALS TO SURFACE WATER CONVEYANCE DITCHES, INLETS, SURFACE DRAINS, WETLANDS AND LAKE AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RESTORATION EFFORTS THAT MAY BE REQUIRED TO MITIGATE EROSION OR SEDIMENTATION EFFECTS OCCURRING DURING HIS WORK.
- PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES AND DEVICES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND JOB CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT LEAVING THE PROPERTY. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKDAY.
- EROSION CONTROL DEVICES SHALL FOLLOW STANDARDS AND DETAILS IN INDEX 102.101.104 OF THE (FOOT ROADWAY AND TRAFFIC DESIGN STANDARDS). CONTROL DEVICES AND TECHNIQUES, AS PROVIDED IN THE FLORIDA EROSION AND SEDIMENT CONTROL MANUAL SHALL BE IMPLEMENTED TO COMPLY WITH CURRENT STATE REGULATIONS.
- THE CONTRACTOR MUST SUBMIT A NOTICE OF TERMINATION FORM TO THE FDOT UPON COMPLETION OF CONSTRUCTION.

TYPE D CURB

PIPE BEDDING AND BACKFILLING REQUIREMENTS

EROSION & SEDIMENT CONTROL NOTES

WATER SERVICE CONNECTION DETAILS



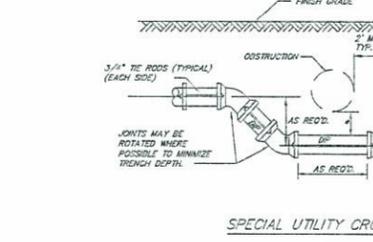
NOTE:

- WIRE MESH SHALL BE LAD OVER THE ODD INLET SO THAT THE WIRE EXTENDS A MINIMUM OF ONE FOOT (30 CM) BEYOND EACH SIDE OF THE INLET STRUCTURE. HANDMADE CLOTH OR CONVEYABLE WIRE MESH WITH 5/8" (13 MM) OPENINGS SHALL BE USED. IF MORE THAN ONE STOP OF MESH IS NECESSARY, THE STRIPS SHALL BE OVERLAPPED AT LEAST 1 FT. (30 CM).
- FOOT NO. 1 COARSE AGGREGATE (1 1/2" TO 3/8" STONE) SHALL BE PLACED OVER THE WIRE MESH AS SHOWN. THE DEPTH OF STONE SHALL BE AT LEAST 18 INCHES. THE STONE SHALL BE OPENED TO THE STONE SHALL EXTEND BEYOND THE INLET OPENING AT LEAST 18 INCHES ON ALL SIDES.
- IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONE MUST BE PULLED AWAY FROM THE INLET, CLEANED AND REPLACED.
- THIS FILTERING DEVICE HAS NO OVERFLOW MECHANISM. THEREFORE, PONDING IS LIKELY ESPECIALLY IF SEDIMENT IS NOT REMOVED REGULARLY.
- ALTERNATE STORM DRAIN PROTECTION METHODS AS SHOWN IN THE FLORIDA EROSION AND SEDIMENT CONTROL INSTRUCTION MANUAL MAY BE USED APPROVED BY THE GOVERNING AGENCIES AND THE ENGINEER OF RECORD.

SPECIFIC APPLICATION

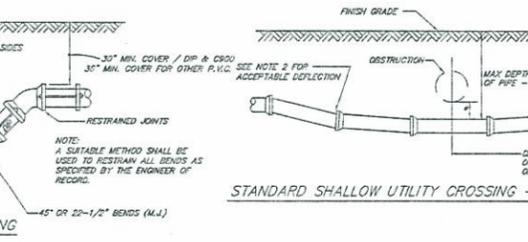
THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE HEAVY CONCENTRATED FLOWS ARE EXPECTED, BUT NOT WHERE PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE INCORPORATION OR DAMAGE TO ADJACENT STRUCTURES AND UNPROTECTED AREAS.

* GRAVEL SHALL BE FOOT #3, #307 OR #5 COARSE AGGREGATE



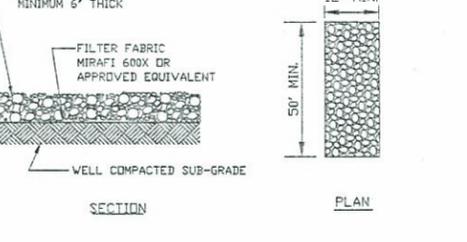
NOTE:

- THE DEFLECTION TYPE CROSSING SHALL BE USED WHENEVER POSSIBLE ONLY UNLESS SPECIFIC ORDERS BY THE ENGINEER. SHALL THE FITTING TYPE CROSSING BE ALLOWED.
- CONSTRUCT STANDARDS CROSSING USING USE OF MANUFACTURER'S MAXIMUM JOINT DEFLECTION (MAX).
- COAT THE ROODS WITH A BITUMINOUS COATING (2 COATS MIN) AFTER INSTALLATION WHEN THE ROODS ARE USED FOR PIPE RESTRAINTS.
- THE CITY ENGINEER AND MIAMI-DADE WATER AND SEWER DEPARTMENT MUST BE NOTIFIED 24 HOURS IN ADVANCE OF ALL DEFLECTION OPERATIONS.
- NO WATER OR OTHER FORCE MAINS OF ANY SIZE PVC OR RCP PIPE THAT CROSS OTHER UTILITIES AND WILL NOT MAINTAIN A MIN. 18" VERTICAL SEPARATION WILL NOT BE INSTALLED BY WAY OF DEFLECTION OTHER THAN FROM 45 DEGREE BENDS WITH METALLICS AND RESTRAINED WITH THREADED ROODS AT ALL JOINTS. PIPE RESTRAINTS ARE REQUIRED TO TOP-45 DEGREE BENDS.



NOTE:

- 18" MIN. CLEARANCE REQUIRED FOR WATER AND SEWER MAIN CROSSING. 12" MIN. CLEARANCE REQUIRED FOR OTHER TYPE UTILITIES CROSSING. ENCASEMENT IN CONCRETE IS NOT PERMITTED.



NOTE:

- FOR CONSTRUCTION PAD LOCATION SEE GRADING AND DRAINAGE PLANS

UTILITY CROSSINGS

CONSTRUCTION ENTRANCE

GRAVEL AND WIRE MESH DROP INLET SEDIMENT FILTER

POTABLE WATER MAIN, INSTALLATION

EXFILTRATION TRENCH



NOTES:

- PVC PLASTIC PIPE SHALL REQUIRE AN INSULATED COPPER WIRE TAPPED EVERY TEN FEET ON TOP OF THE PIPE AND WRAPPED AROUND EACH FIRE HYDRANT AT FINAL GRADE. THE WIRE SHALL BE CONTINUOUS AND ALL CONNECTIONS TAPED. CONDITIONS AS DETERMINED BY THE INSPECTOR.
- SEWER AND WATER MAINS SHALL BE INSTALLED WITH MINIMUM 10" HORIZONTAL AND 18" VERTICAL SEPARATION.



NOTES:

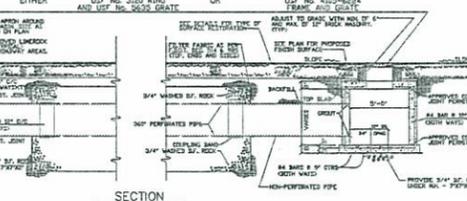
- NON-PERFORATED PIPE 4 IN DIA. AS SHOWN TOP 1/2"
- NON-PERFORATED PIPE 4 IN DIA. AS SHOWN TOP 1/2"



NOTES:

- NON-PERFORATED PIPE 4 IN DIA. AS SHOWN TOP 1/2"
- NON-PERFORATED PIPE 4 IN DIA. AS SHOWN TOP 1/2"

CONSTRUCTION ENTRANCE



NOTES:

- NON-PERFORATED PIPE 4 IN DIA. AS SHOWN TOP 1/2"
- NON-PERFORATED PIPE 4 IN DIA. AS SHOWN TOP 1/2"

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www.langan.com

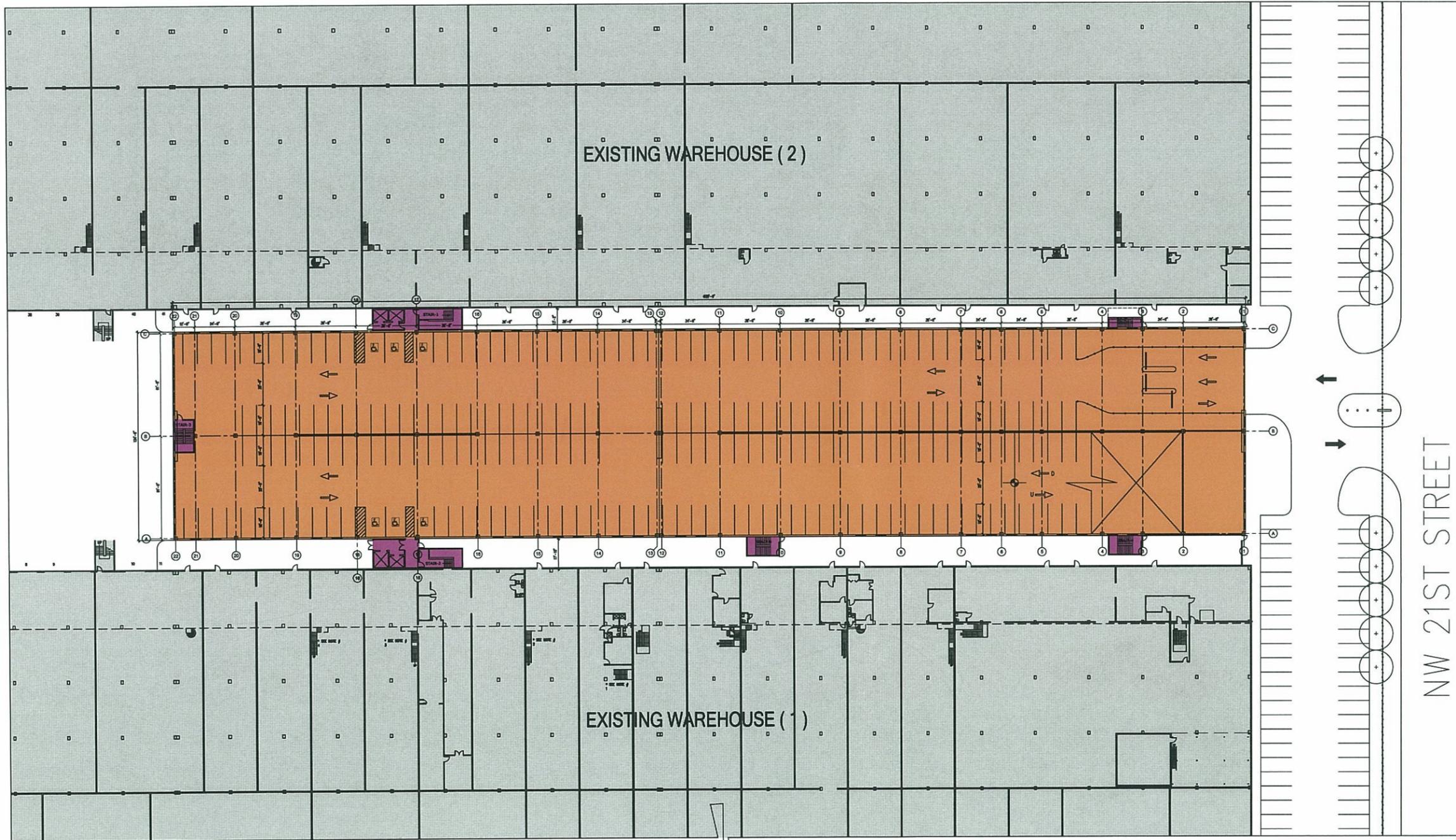
NEW JERSEY PENNSYLVANIA NEW YORK CONNECTICUT FLORIDA NEVADA
FL Certificate of Authorization No. 00009001

Project
MIAMI FREE ZONE EXPANSION - CV MIAMI LLC
CITY OF DORAL

MIAMI - DADE COUNTY FLORIDA

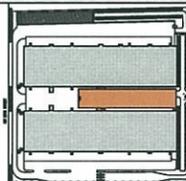
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DETAILS

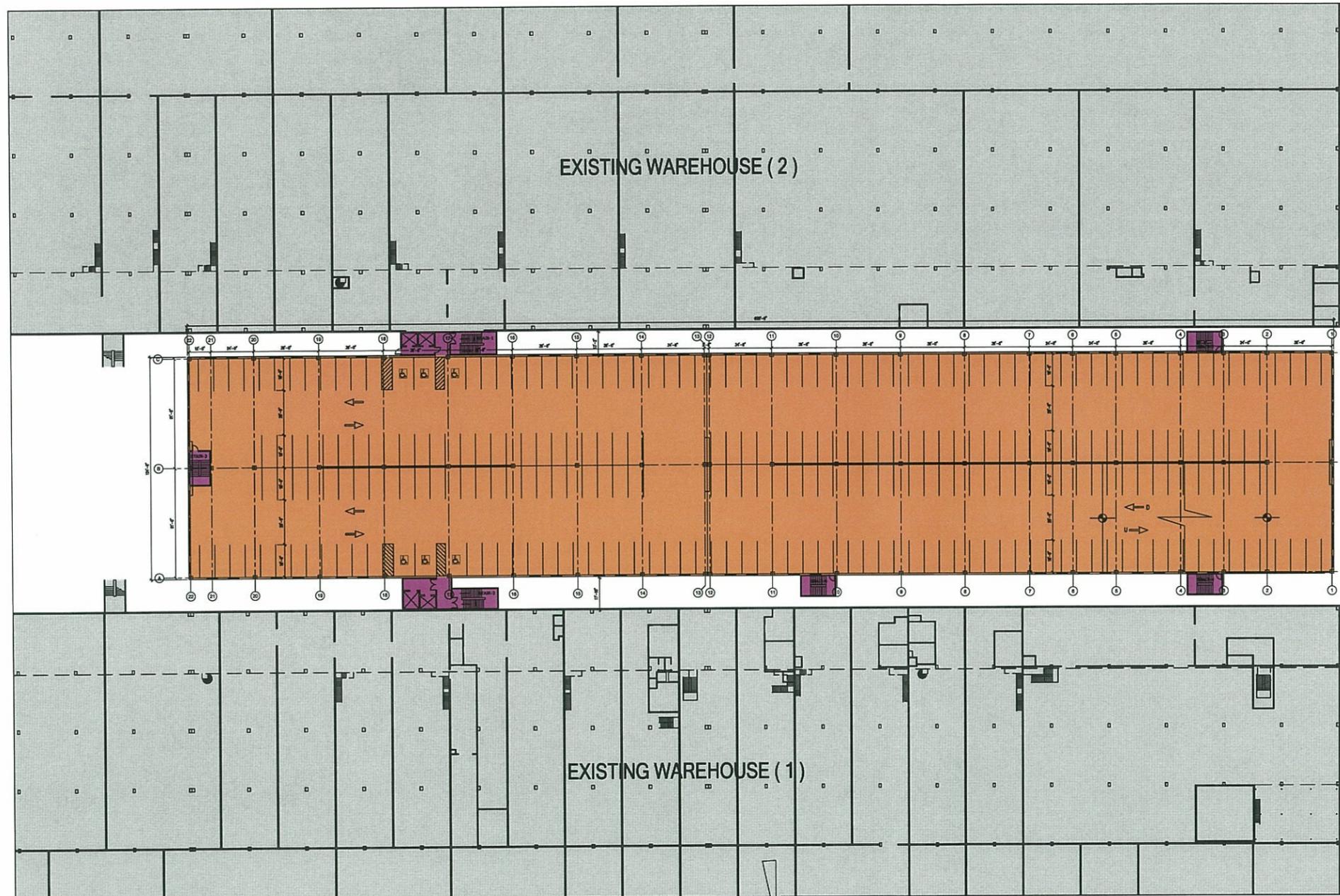
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Date	NOVEMBER 09, 2006	Scale	NTS
Scale	NTS	Drn. By	TLT
Drn. By	TLT	Chkd. By	EBS
Chkd. By	EBS		7 Of 7



LEGEND	
	OFFICE AREA 0.00 SF
	CIRCULATION & CORE 2,427.48 SF
	PARKING AREA 78,864.00 SF
TOTAL GROSS AREA 81,291.48 SF	



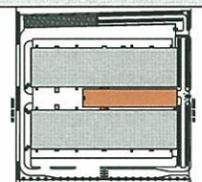
ISSUE DATE:		
No.	DATE	DESCRIPTION
1	1-09-07	CITY COMMENTS
		
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<small>200 S. Biscayne Blvd., Suite 800 • Miami, Florida 33131 305.374.9216 phone • 305.374.9217 fax</small>		
		
O'Connor Gordon Pratt Architects, LLP		
<small>102 North Main Street Hightstown, NJ 08520 Ph: 609-448-3888 F: 609-448-0777</small>		
Project Name		
MIAMI FREE ZONE EXPANSION CV MIAMI, LLC		
Project Number	06-1030	
Drawing Name		
GROUND FLOOR PLAN		
DATE: 11/07/06		
Scale:	Drawing Number	
1:30	A-1	



LEGEND	
	OFFICE AREA 0.00 SF
	CIRCULATION & CORE 2,427.48 SF
	PARKING AREA 78,864.00 SF
TOTAL GROSS AREA 81,291.48 SF	



ISSUE DATE:		
No.	DATE	DESCRIPTION
1	1-09-07	CITY COMMENTS



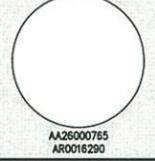
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 Fx: 609-448-0777

Project Name

MIAMI FREE ZONE EXPANSION
 CV MIAMI, LLC

Project Number 06-1030

Drawing Name

2nd. FLOOR PLAN

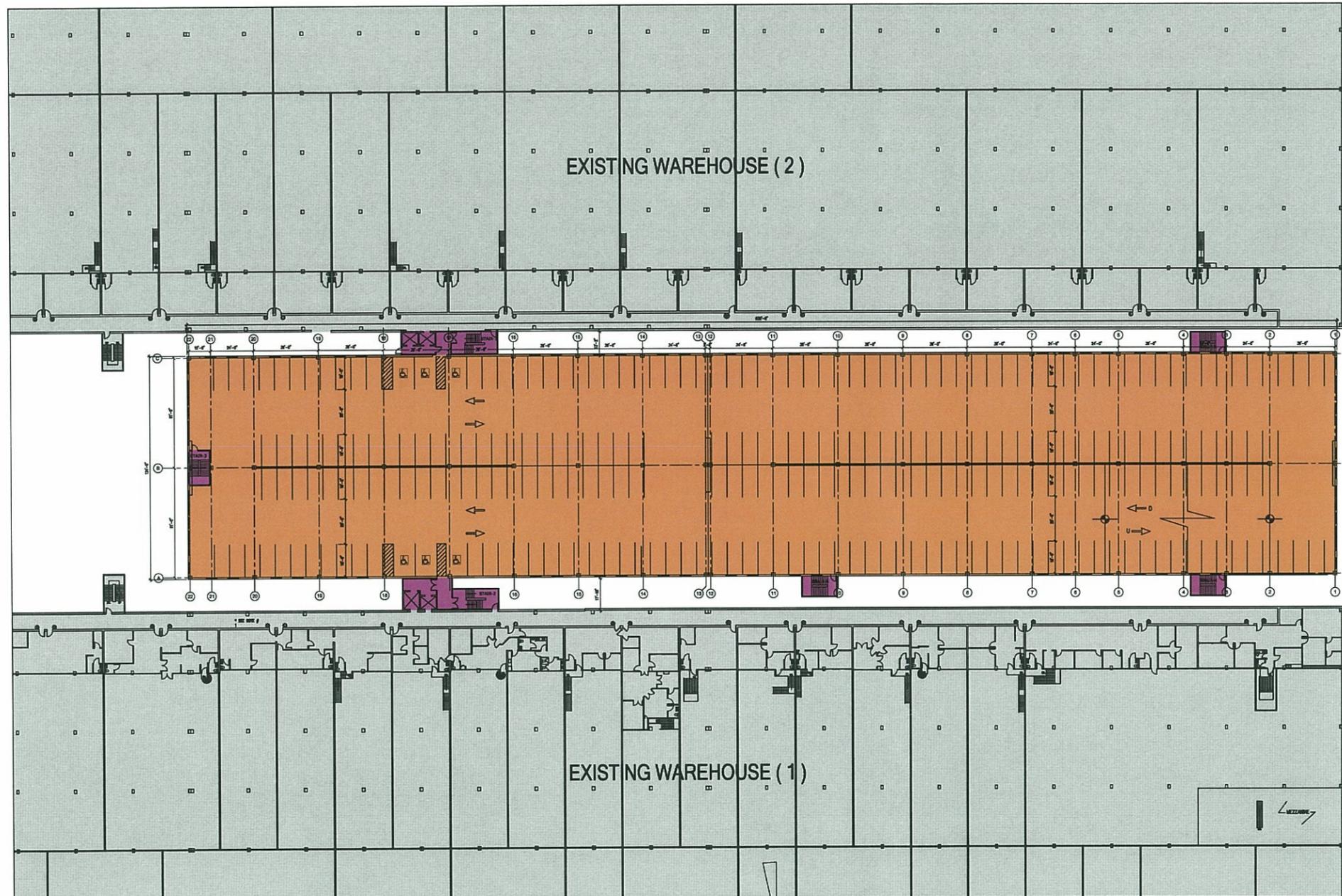
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Drawing Number

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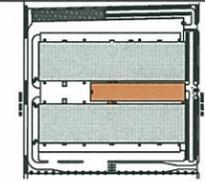
A-2



LEGEND	
 OFFICE AREA	0.00 SF
 CIRCULATION & CORE	2,427.48 SF
 PARKING AREA	78,864.00 SF
TOTAL GROSS AREA	81,291.48 SF



ISSUE DATE:		
No.	DATE	DESCRIPTION
1	1-09-07	CITY COMMENTS



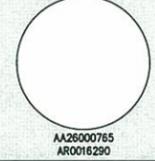
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Project Name

MIAMI FREE ZONE EXPANSION
 CV MIAMI, LLC

Project Number 06-1030

Drawing Name

3rd. FLOOR PLAN

DATE: 11/07/06

Scale:

Drawing Number

1:30

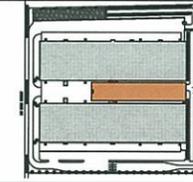
A-3



LEGEND	
OFFICE AREA	0.00 SF
CIRCULATION & CORE	2,830.48 SF
PARKING AREA	78,864.00 SF
TOTAL GROSS AREA	81,694.48 SF



ISSUE DATE:		
No.	DATE	DESCRIPTION
1	1-09-07	CITY COMMENTS



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Project Name

MIAMI FREE ZONE EXPANSION
CV MIAMI, LLC

Project Number 06-1030

Drawing Name

4th. FLOOR PLAN

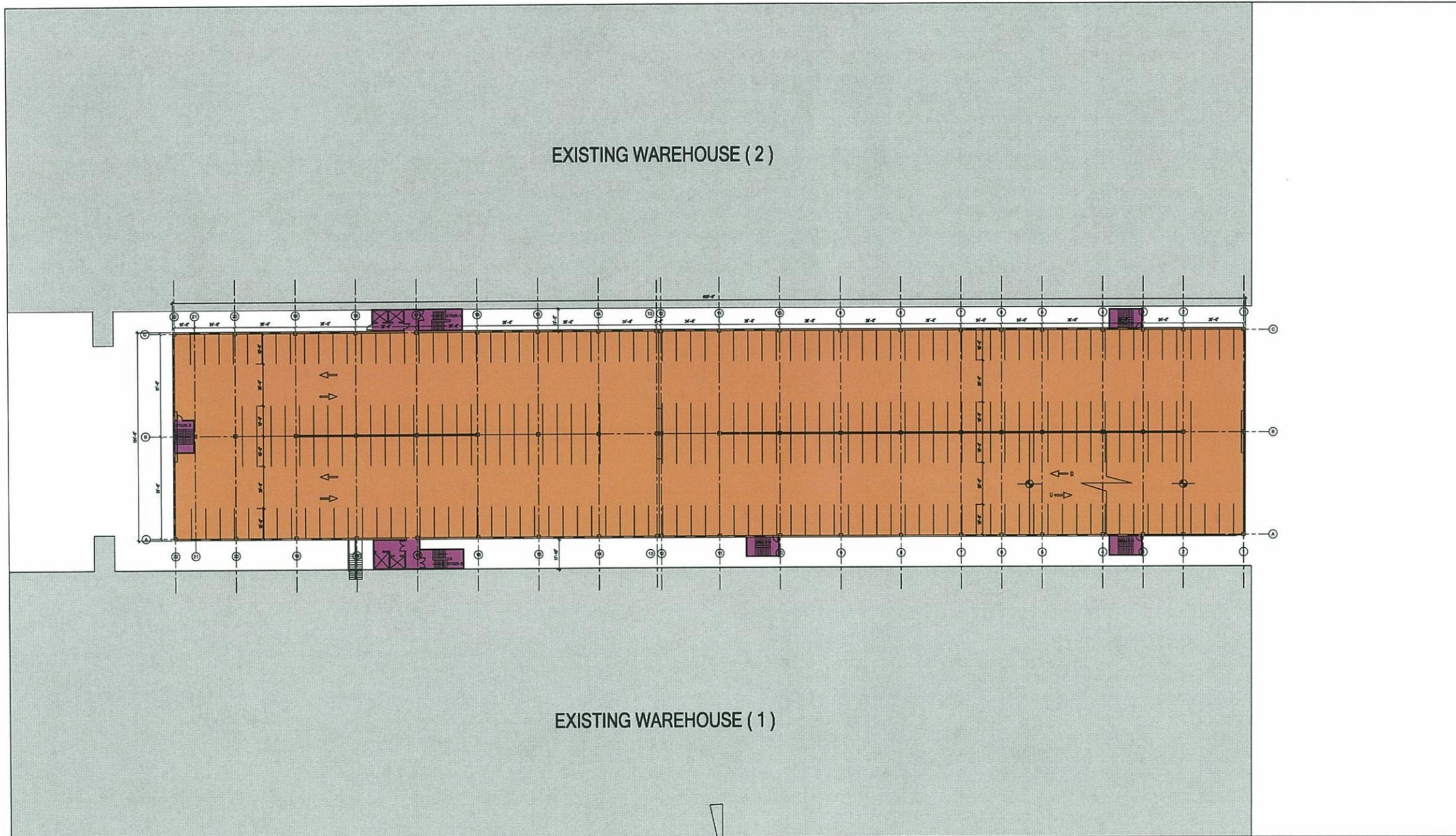
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Scale:

Drawing Number

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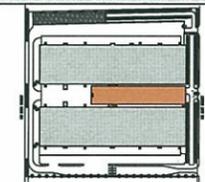
A-4



LEGEND	
 OFFICE AREA	0.00 SF
 CIRCULATION & CORE	2,830.48 SF
 PARKING AREA	78,864.00 SF
TOTAL GROSS AREA	81,694.48 SF



ISSUE DATE:		
No.	DATE	DESCRIPTION
1	1-09-07	CITY COMMENTS

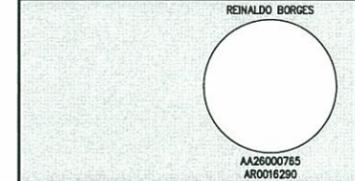


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Project Name

**MIAMI FREE ZONE EXPANSION
 CV MIAMI, LLC**

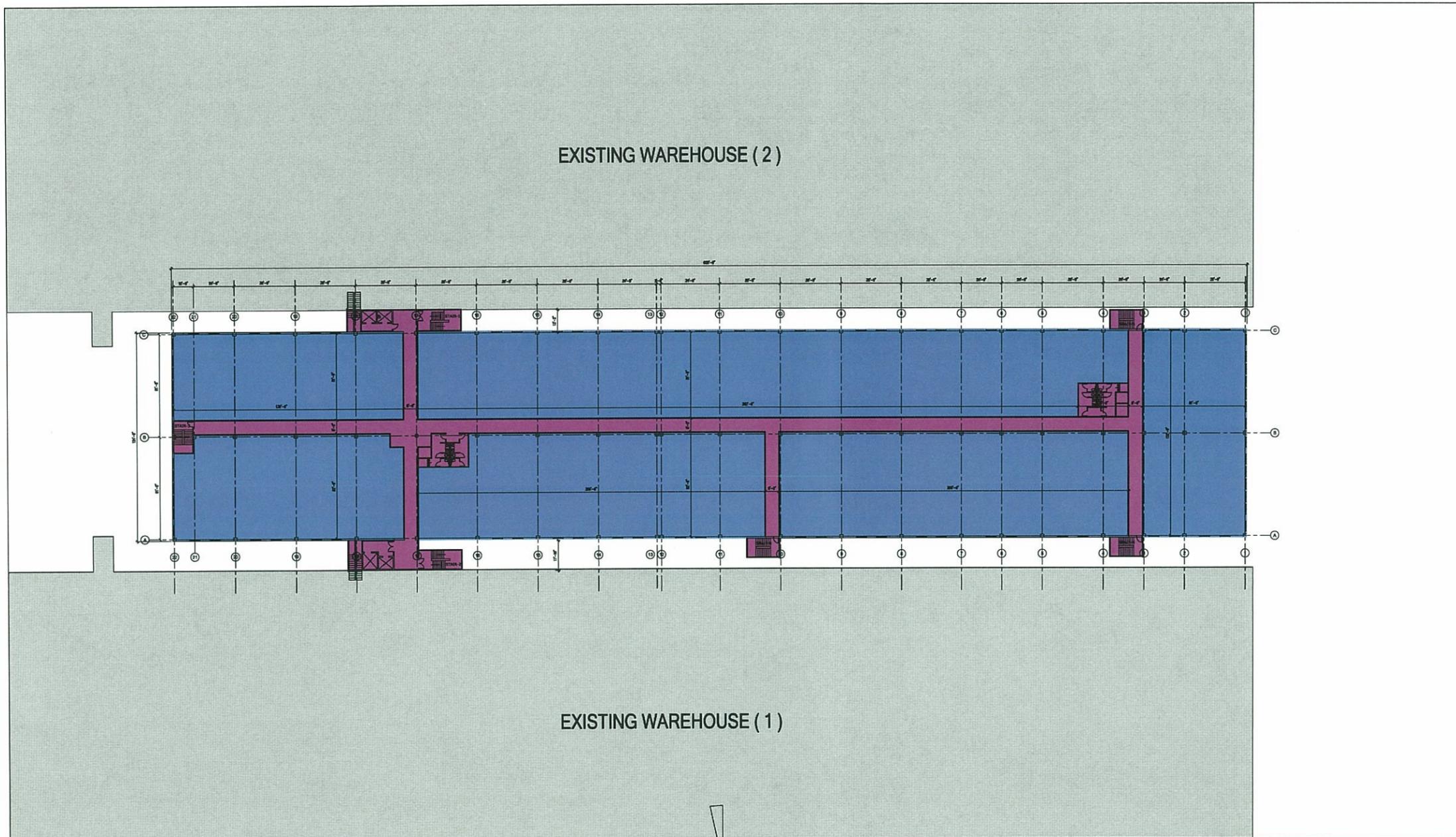
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Drawing Name
5th. FLOOR PLAN

DATE: 11/07/06

Scale: Drawing Number

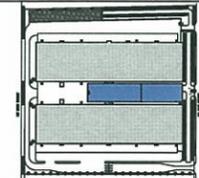
1:30 **A-5**



LEGEND	
 OFFICE AREA	70,757.20 SF
 CIRCULATION & CORE	10,984.30 SF
 PARKING AREA	0.00 SF
TOTAL GROSS AREA	81,741.50 SF



ISSUE DATE:		
No.	DATE	DESCRIPTION
1	1-09-07	CITY COMMENTS

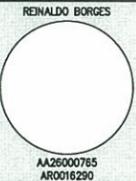


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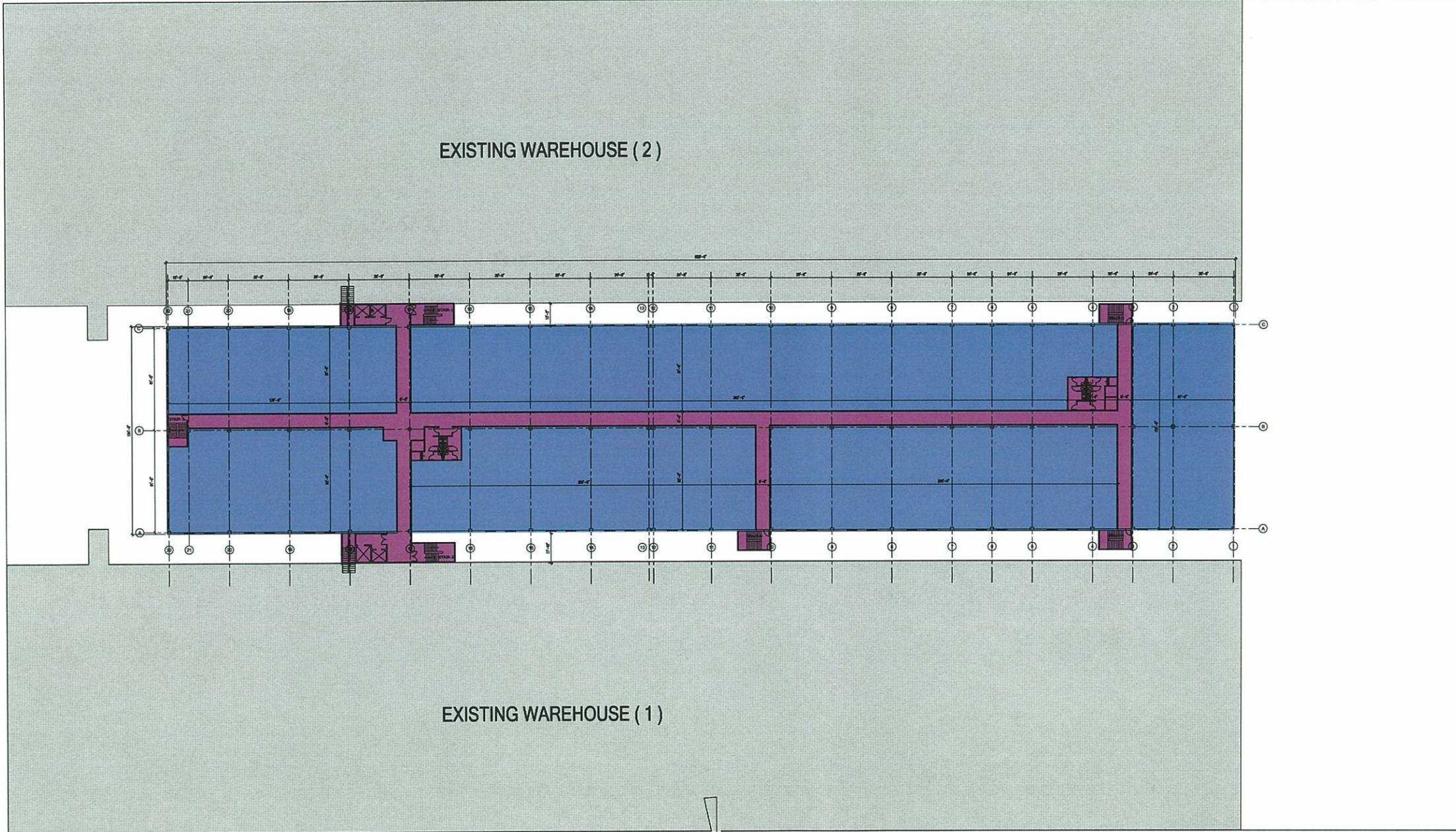
Project Name
**MIAMI FREE ZONE EXPANSION
 CV MIAMI, LLC**

Project Number **06-1030**

Drawing Name
6th. FLOOR PLAN

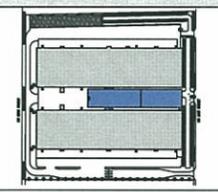
DATE: 11/07/06

Scale: 1:30	Drawing Number A-6
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ISSUE DATE:

No.	DATE	DESCRIPTION
1	1-09-07	CITY COMMENTS



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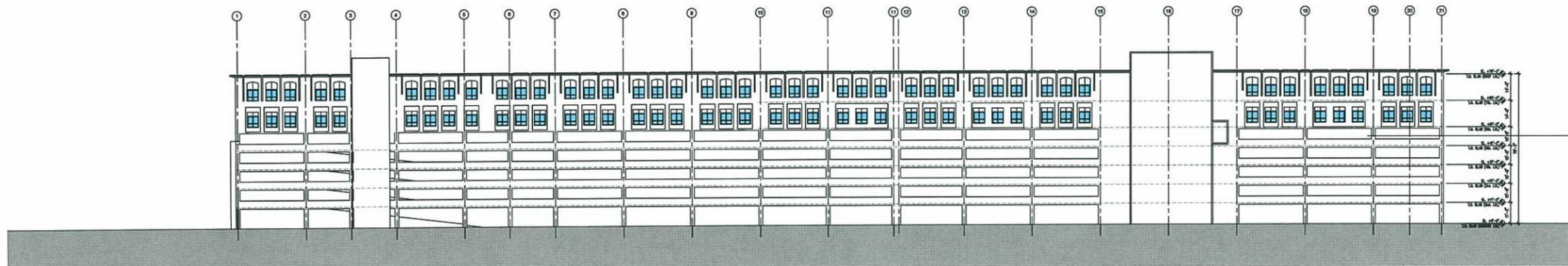


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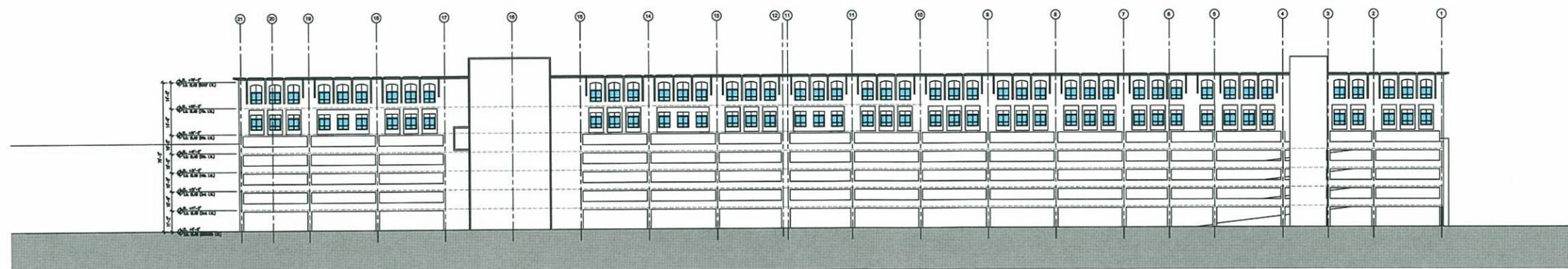
Project Name
**MIAMI FREE ZONE EXPANSION
 CV MIAMI, LLC**

Project Number **06-1030**
 Drawing Name
7th. FLOOR PLAN
 DATE: 11/07/06

Scale: **1:30**
 Drawing Number
A-7



EAST ELEVATION



WEST ELEVATION

ISSUE DATE:

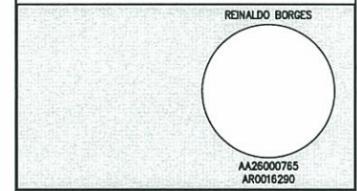
No.	DATE	DESCRIPTION
1	1-09-07	CITY COMMENTS

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Project Name

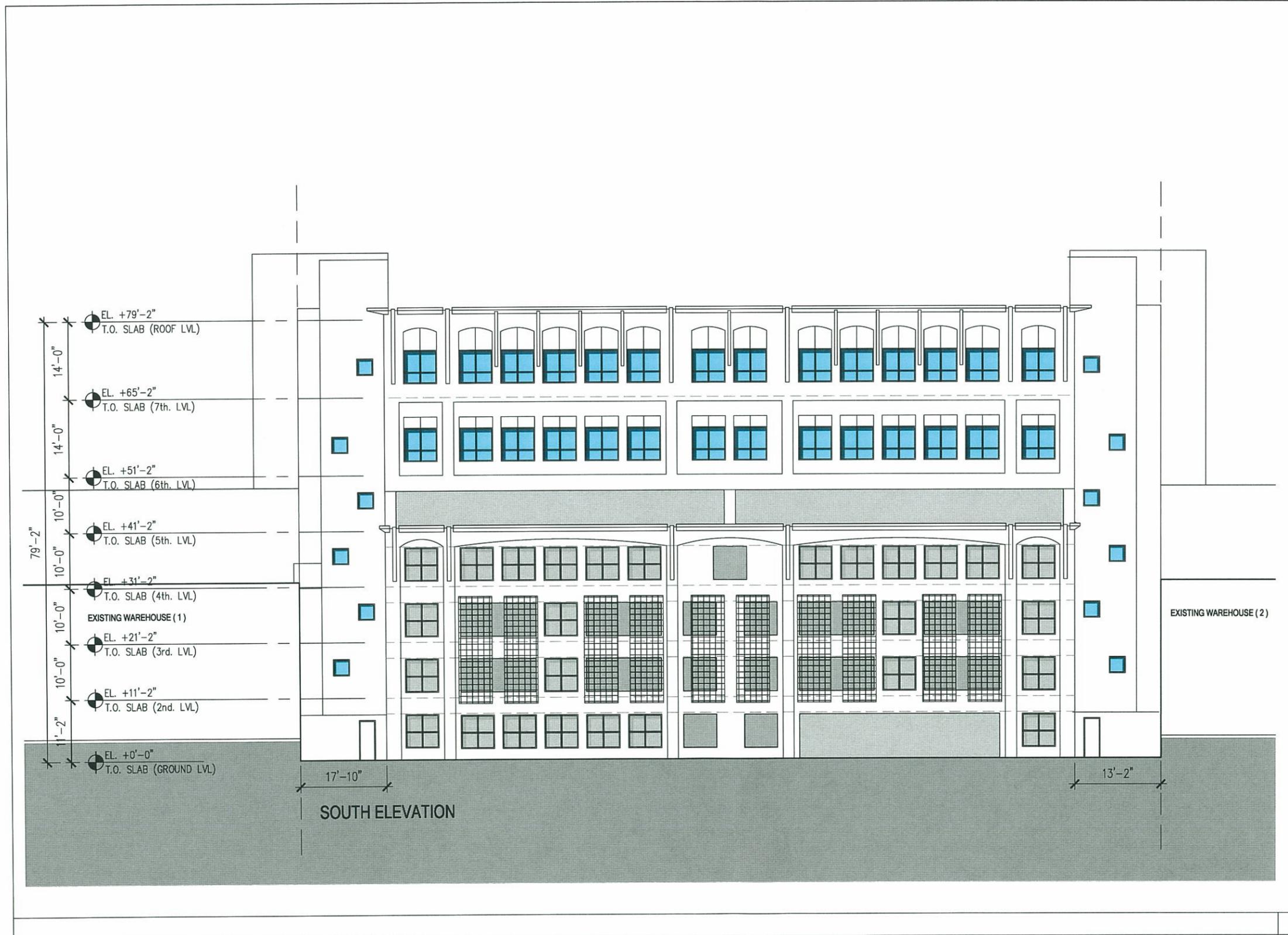
MIAMI FREE ZONE EXPANSION
 CV MIAMI, LLC

Project Number 06-1030

Drawing Name
**EAST & WEST
 ELEVATION**

DATE: 11/07/06

Scale:	Drawing Number
1:30	A-9

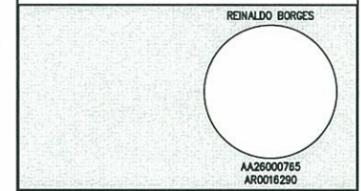


ISSUE DATE:		
No.	DATE	DESCRIPTION
1	1-09-07	CITY COMMENTS

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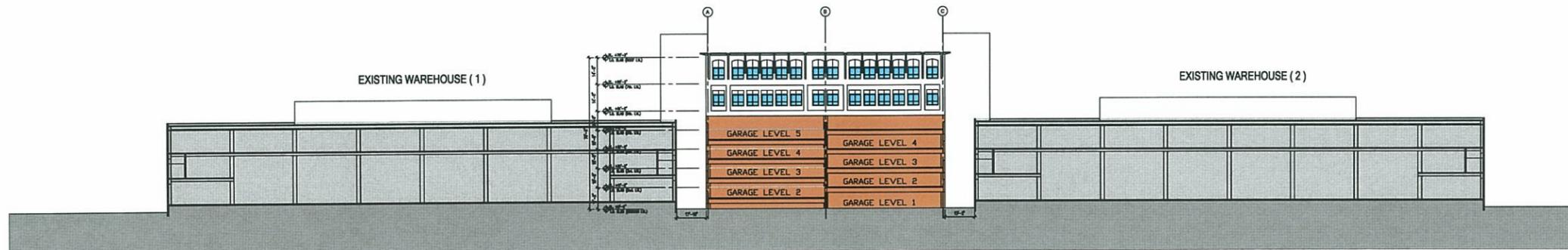


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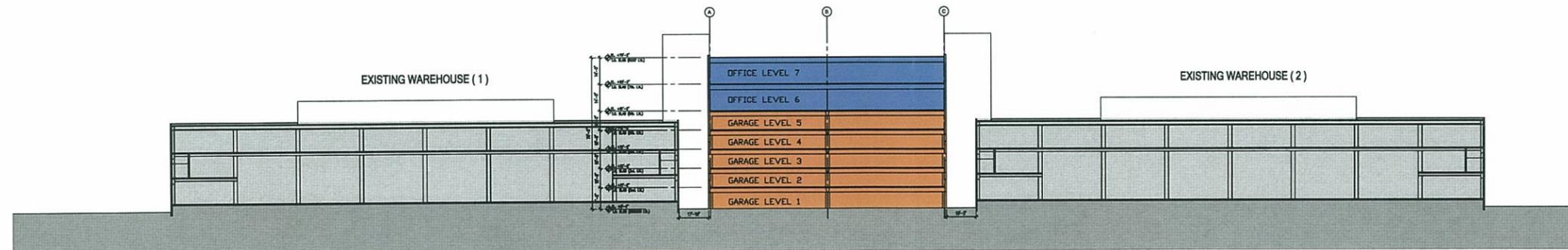
Project Name
MIAMI FREE ZONE EXPANSION
CV MIAMI, LLC

Project Number **06-1030**
 Drawing Name
ENLARGED BUILDING SOUTH ELEVATION
 DATE: 11/07/06

Scale: **1/8"=1'**
 Drawing Number **A-10**



CROSS SECTION THROUGH GARAGE (FACING NORTH)



CROSS SECTION THROUGH OFFICE (FACING NORTH)

ISSUE DATE:		
No.	DATE	DESCRIPTION
1	1-09-07	CITY COMMENTS

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 Fx: 609-448-0777

Project Name

MIAMI FREE ZONE EXPANSION
 CV MIAMI, LLC

Project Number 06-1030

Drawing Name

SECTIONS

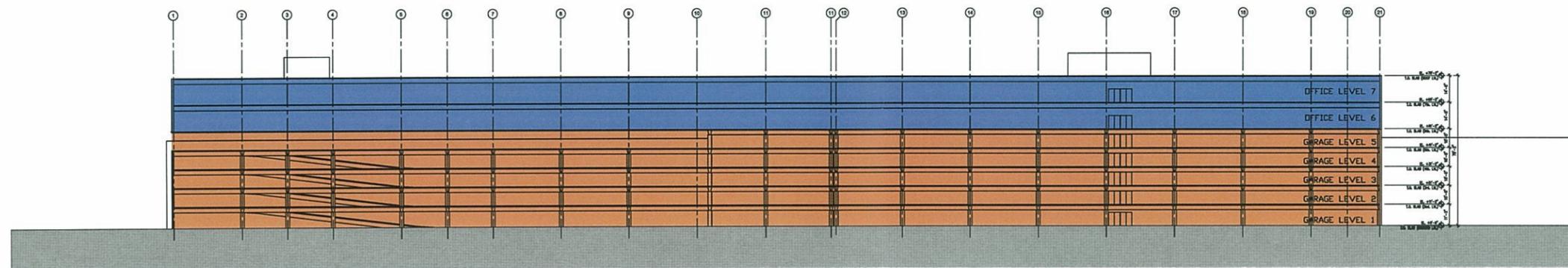
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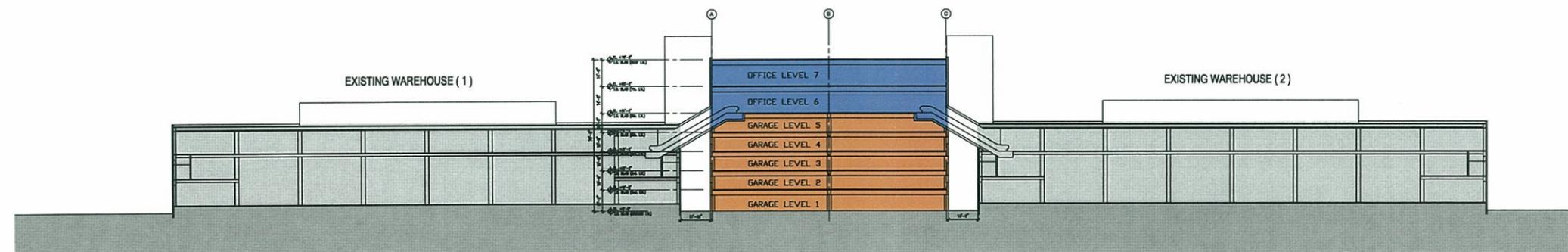
Drawing Number

1:30

A-12



LONGITUDINAL SECTION (NORTH - SOUTH)



CROSS SECTION THROUGH OFFICE (FACING NORTH)

ISSUE DATE:

No.	DATE	DESCRIPTION
1	1-09-07	CITY COMMENTS

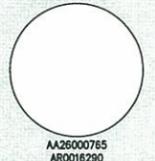
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Project Name

MIAMI FREE ZONE EXPANSION
 CV MIAMI, LLC

Project Number 06-1030

Drawing Name

SECTIONS

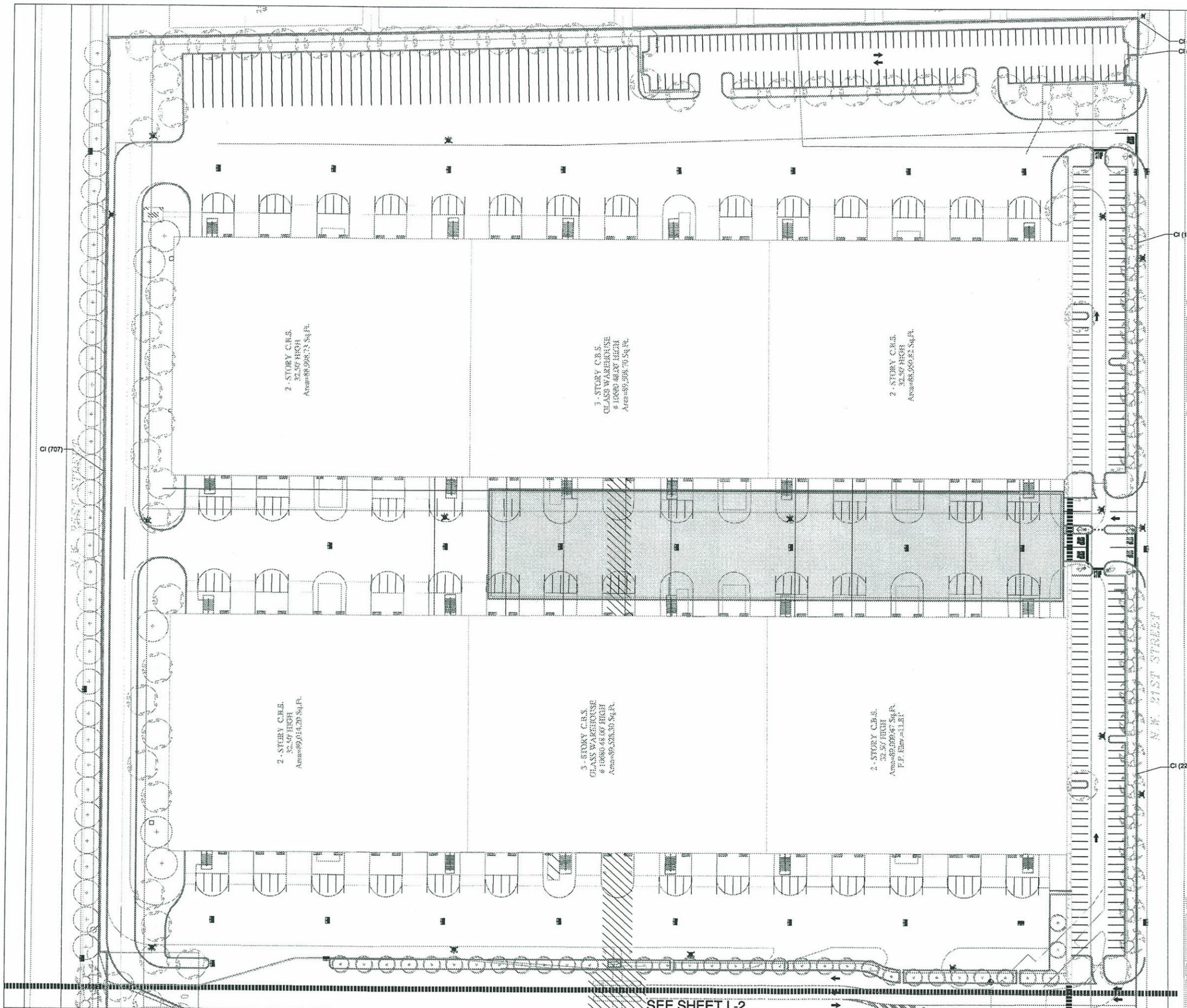
DATE: 11/07/06

Scale:

Drawing Number

1:30

A-13



(71) EXISTING TREE TO REMAIN

LANDSCAPE LIST			
QUANTITY	KEY	BOTANICAL / COMMON NAME	DESCRIPTION
31	(Symbol)	* Ilex cassia DAHOON HOLLY	12' Ht. x 6' spr. f.g.
99	(Symbol)	* Quercus virginiana LIVE OAK	12' Ht. x 6' spr. f.g.
33	(Symbol)	* Cordia sebestena ORANGE GEIGER TREE	10' Ht. x 5' spr. f.g.
25	(Symbol)	* Swietenia mahagoni MAHOGANY	12' Ht. x 6' spr. f.g.
2703	CI	* Chrysophyllum lcazo 'Red Tip' RED TIP COCOPLUM	36" Ht. X 24" spr. 3 gal.
AS REQ'D	LAWN	Paspalum notatum BAHIA GRASS	Solid Even Sod

* Native Plant Material

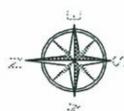
LANDSCAPE LEGEND

Zoning District: M-C
 Net Lot Area 30.89 acres 1,345,560 s.f.

OPEN SPACE	REQUIRED	PROVIDED
A. Square Feet of open space required by Chapter 33, as indicated on site plan: Net lot area = 1,345,560 s.f. x .30 % = 403,668 s.f.	403,668	403,668
B. Square Feet of parking lot open space required by Chapter 33A, as indicated on site plan: No. parking spaces: 1,075 x 10 s.f. per parking space =	10,750	10,750
C. Total s.f. of landscaped open space required by Chapter 33: A + B =	414,418	414,418
LAWN AREA CALCULATION		
A. 279,885 total s.f. of landscaped open space required by Chapter 33	279,885	279,885
B. Maximum lawn area (sod) permitted = .20 % x 279,885 s.f. =	55,977	55,977
TREES		
A. No. trees required per net lot area: Landscape number of trees meeting minimum requirements = 27 trees x net lot acres =	880	131 Proposed trees 8 Existing trees
B. % Palms Allowed: No. trees required x 30% = % Palms permitted to plant as exotic trees 1:1 basis x 30% =	264	N/A
C. % Native Required: No. trees provided x 30% = % Native Required (No. trees provided) x 30% =	264	185
D. Street trees (maximum average spacing of 30' o.c.): 4,075' linear feet along street / 35' =	117	57 Proposed trees 87 Existing trees
E. Street trees located directly beneath power lines (maximum average spacing of 25' o.c.): 1,019' linear feet along street / 25' =	N/A	N/A
F. Total Trees Required: A + D + E = 797 Total Trees	797	288
SHRUBS		
A. No. trees required x 10 = No. of shrubs allowed	7,970	2,703
B. No. shrubs allowed x 30% = No. of native shrubs required	2,391	2,703

IRRIGATION PLAN: If required by Chapter 33

The site sight triangle areas shall not contain obstructions to cross-visibility at a height of two and one-half (2.5) feet or more above the pavement.
 Ground covers and shrubs may not exceed 30" in height if within sight triangles.



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 1800 N.E. 2ND AVENUE, SUITE 200
 MIAMI, FL 33132
 TEL: 305.550.8888 FAX: 305.550.0057
 www.witkindesign.com

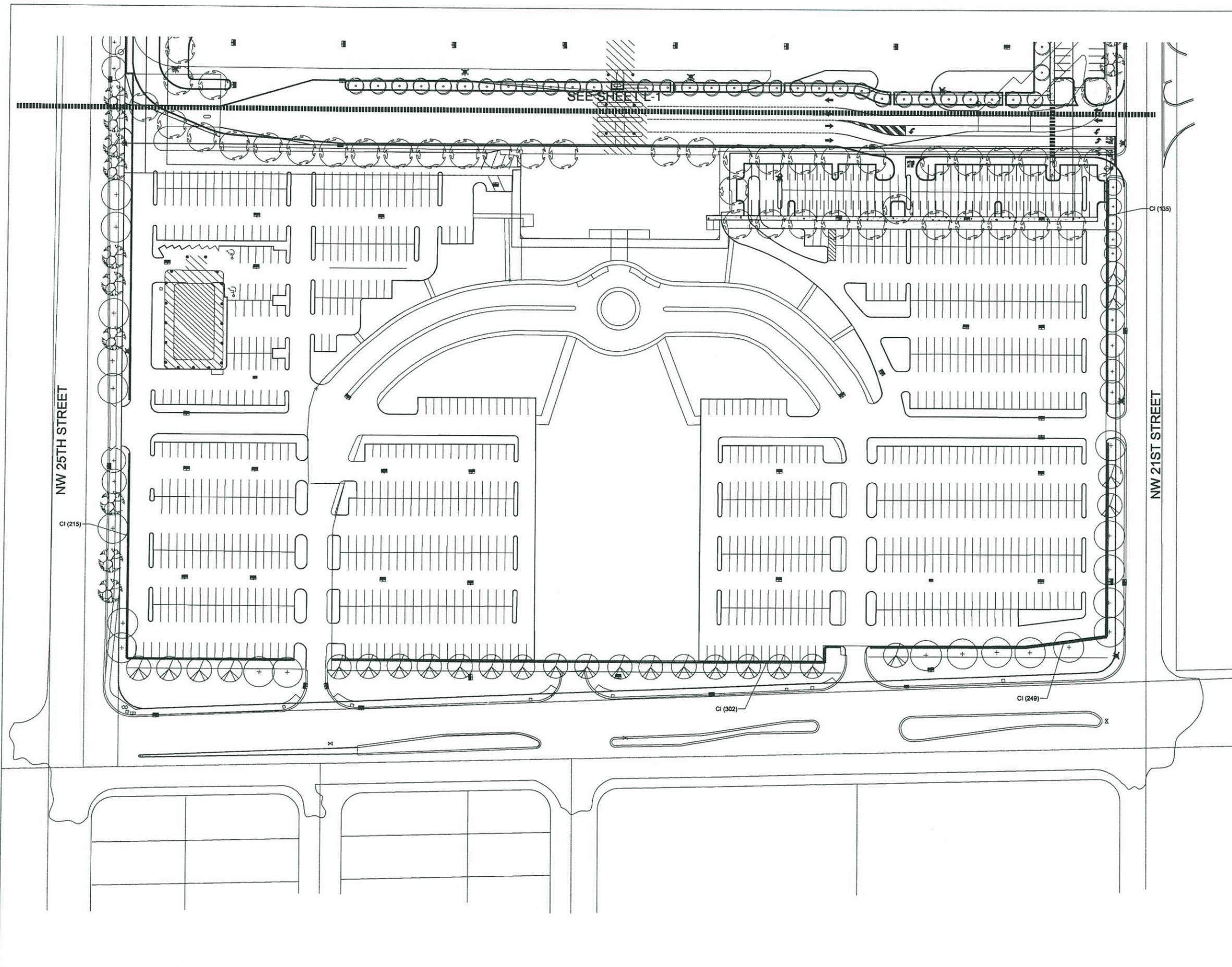
MIAMI FREE ZONE
 Miami-Dade county, FL

Revisions:
 Rev. #1 1-8-07
 Revised landscape as per site plan changes
 Rev. #2 2-6-07
 Revised landscape as per site plan changes
 Rev. #3 2-18-07
 Revised Site Data Acreage

DATE: FEB 16 2007

 Lic. # LA0000889
 Member: A.S.L.A.

Project Name: Landscape Plan
 Date: 10/27/2006
 Scale: 1" = 50' - 0"
 Drawn by: JA
 Sheet No.: L-1



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 1800 N.W. 25th Avenue, Suite 305
 North Miami Beach, FL 33162
 TEL: 305.251.9507
 www.witkindesign.com

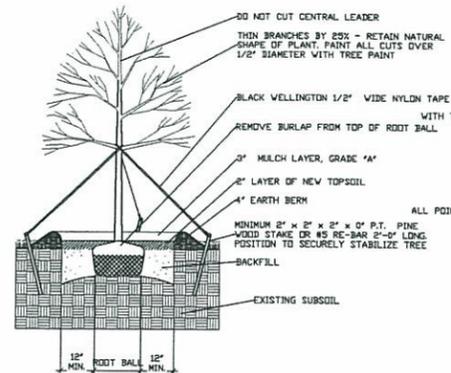
We warrant that the work was prepared by a duly licensed professional engineer or architect. We do not warrant that the work complies with all applicable laws, codes, and regulations. We are not responsible for any errors or omissions in this drawing. This drawing is for informational purposes only and should not be used for any purpose without the written permission of Witkin Design Group, Inc.

MIAMI FREE ZONE
 Miami-Dade county, FL

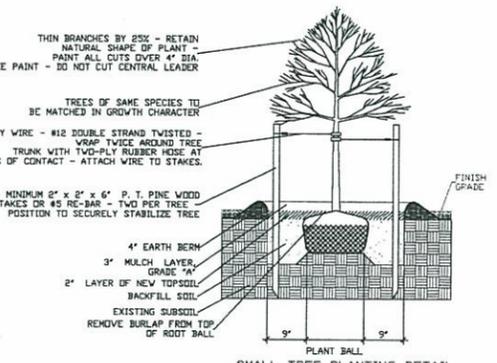
- Project:
- Revisions:
 Rev. #1 1-9-07
 Revised landscape as per site plan changes
 Rev. #2 2-6-07
 Revised landscape as per site plan changes
 Rev. #3 2-16-07
 Revised Site Data Acreage

Seal:
FEB 16 2007
 Lic. # 10000269
 Member: A.S.L.A.

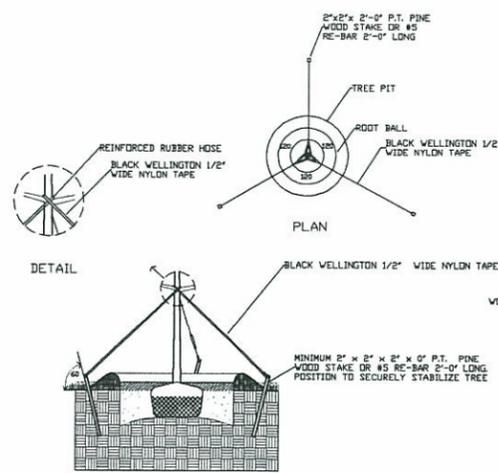
Project Name: Landscape Plan
 Date: 10/27/2006
 Scale: 1" = 50' - 0"
 Drawn by: JA
 Sheet No.:



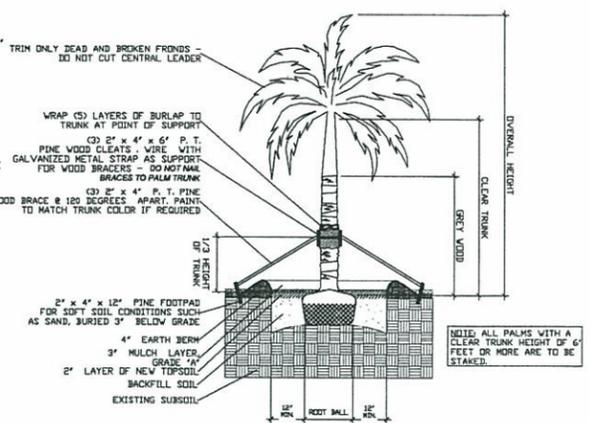
LARGE TREE PLANTING DETAIL



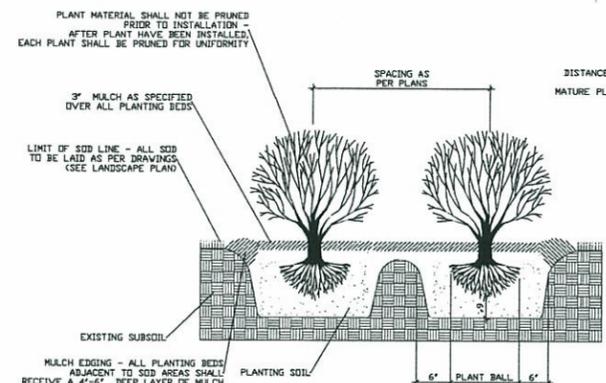
SMALL TREE PLANTING DETAIL



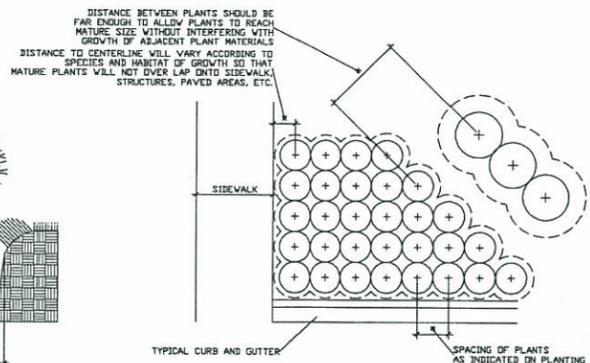
TYPICAL TREE GUYING DETAIL



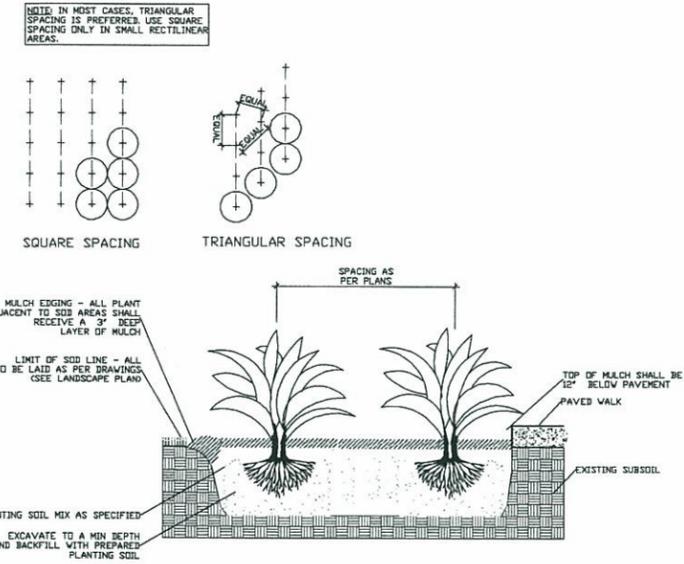
STRAIGHT TRUNK PALM PLANTING DETAIL



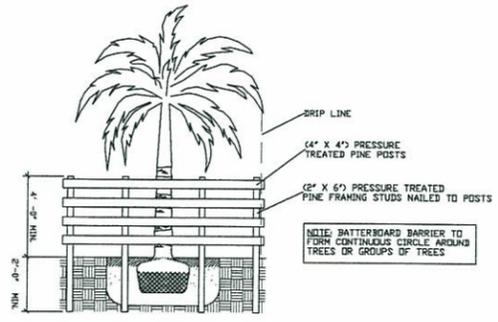
TYPICAL SHRUB PLANTING DETAIL



TYPICAL CONTAINER SPACING



TYPICAL GROUND COVER PLANTING DETAIL



BATTERBOARD PROTECTION FOR EXISTING TREES AND PALMS

PLANTING NOTES

- (See plant specification and details for additional standards)
- All plant material is to be Florida Number 1 or better pursuant to the Florida Department of Agriculture and Standards for Nursery Plants
- Sod is to be grade "A" weed free.
- All areas marked "LAWN" shall be solid sod/Straw/Bagus/Floratan" solid sod. See limit on plan. All areas marked "Bahia Grass" shall be solid sod/Straw/Bagus/Floratan. All sod is to be laid level, tight, and cut even along planting beds.
- All plants are to be top dressed with a minimum 3" layer of Melaleuca mulch, Eucalyptus mulch or equal.
- Planting plans shall take precedence over plant list in case of discrepancies.
- No changes are to be made without the prior consent of the Landscape Architect and Owner. Additions and / or deletions to the plant material must be approved by the project engineer.
- Landscape Contractor is responsible for providing their own square footage takeoffs and field verifications for sod coverage for all areas specified.
- All landscape areas are to be provided with automatic sprinkler system which provide 100% coverage, and 50% overlap.
- All trees in lawn areas are to receive a 24" diameter mulched saucer at the base of the trunk.
- All lawn located in parking islands is to be set flush with top of curb. Provide adequate soil to within 3" of top of curb.
- Trees are to be planted within parking islands after soil is brought up to grade. Deeply set root balls are not acceptable.
- Planting soil for topsoil and backfill shall be 50/50 mix, nematode free by Morris Magic soil, Hialeah, Florida. Planting soil for annual beds to be comprised of 50% Canadian peat moss, 25% salt free coarse sand and 25% Aerolite.
- Tree and shrub pits will be supplemented with "Agriform Pellets", 21 gram size with a 20-10-5 analysis, or substitute application accepted by Landscape Architect. Deliver in manufacturer's standard containers showing weight, analysis and name of manufacturer.

GENERAL NOTES

- The Landscape Contractor is to locate and verify all underground and overhead utilities prior to beginning work. Contact proper utility companies and / or General Contractor prior to digging for field verification. The Owner and the Landscape Architect shall not be responsible for any damages to utility or irrigation lines (see Roadway Plans for more utility notes).
- Landscape Contractor is to verify all current drawings and check for discrepancies and bring to the attention of the Landscape Architect prior to commencing with the work.
- All unattended and unplanted tree pits are to be properly barricaded and flagged during installation.
- All planting plans are issued as directives for site layout. Any deviations, site changes, or errors are to be brought to the attention of the Landscape Architect for clarification prior to installation.

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MIAMI FREE ZONE
 Miami-Dade county, FL

Project:

Revisions:
 Rev. #1 1-8-07
 Revised landscape as per site plan changes

Seal:
FEB 16 2007
 Lic. # 13000088
 Member: A.S.L.A.

Project Name: Landscape Details
 Date: 10/27/2006
 Scale: n.l.s.
 Drawn by: JA
 Sheet No.: **L-3**