

**RESOLUTION No. 22-154**

**A RESOLUTION OF THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, APPROVING THE SITE PLAN FOR THE PROPERTY LOCATED AT 10405 NW 19 STREET, PURSUANT TO SECTION 53-184(F) OF THE CITY'S LAND DEVELOPMENT CODE; AND PROVIDING FOR AN EFFECTIVE DATE**

**WHEREAS** Fortuna Real Estate, LLC (the "Applicant") has submitted an application for Mayor and Council site plan review and approval for the property located at 10405 NW 19 Street, Doral, Florida, further identified by folio number 35-3032-022-0035, as legally described in "Exhibit A"; and

**WHEREAS**, a zoning workshop was held on May 4, 2022, at which meeting the public was afforded an opportunity to examine the project and provide feedback; and

**WHEREAS**, the City of Doral staff finds that the proposed site plan complies with the requirements and standards of the City's Land Development Code; and

**WHEREAS**, after notice of public hearing duly published and notifications of all property owners of record within 500-foot radius, a public hearing was held before the Mayor and City Council of the City of Doral on August 24, 2022, at which hearing all interested persons were afforded the opportunity to be heard; and

**WHEREAS**, the Mayor and City Council of the City of Doral find the adoption of this Resolution is in the best interest of the health, safety and welfare of the residents of the City of Doral.

**NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF DORAL, FLORIDA, AS FOLLOWS:**

**Section 1. Recitals.** The foregoing recitals are confirmed, adopted, and incorporated herein and made as part hereof by this reference.

**Section 2. Approval.** The Mayor and City Council hereby approve the site plan for the property located at 10405 NW 19 Street, Doral, Florida, further identified by folio number 35-3032-022-0035, as legally described in “Exhibit A.” The site plan consists of a 40,141 square-foot one-story warehouse distribution center. A copy of the site plan is provided in “Exhibit B.” The approval of the site plan is subject to the following conditions. Violation of these conditions may result in a code compliance citation or the revocation of this Resolution.

1. The proposed project shall be built in substantial compliance with the plans entitled “Site Plan for 10405 NW 19<sup>th</sup> Street,” prepared by Carlos Diaz Architecture LLC, dated stamped received June 9, 2022.
2. The project shall be landscaped in accordance with the landscape plan, prepared by Derick Langel, dated stamped received June 9, 2022 as amended, and included with the site plan submittal.
3. That the Applicant comply with Ordinance No. 2015-09 “Public Arts Program,” as amended, at the time of building permit. No final approval, such as a final inspection or a certificate of occupancy, for the project shall be issued unless one or more of the following has been achieved:
  - I. The approved art has been installed in a manner that is [in] compliance with the requirements set forth in this ordinance and the public arts program guidelines; or
  - II. All in-lieu art fees have been paid; or
  - III. Financial security (including but not limited to a performance bond, letter of credit, or similar instrument) in an amount equal to the acquisition and installation costs of an approved art selection, has been provided to the City in a form approved by the City Attorney and the City Manager, or his/her designee and placed into escrow account; or
  - IV. Donation of art which have been approved by the board are delivered by the applicant to the City, and are accepted by the City in accordance with this ordinance.

For purposes of the art program, "artwork" does not include the following:

- a. Directional elements, such as signage or graphics.
- b. Objects that are mass produced in standard designs.
- c. Landscape gardening, unless substantially comprising durable elements defined as “Art Work” under Sec. 75-101.

4. That the Applicant comply with Chapter 63, "Green Building Incentives," of the City's Land Development Code at the time of building permit (if applicable).
5. That the Applicant comply with the City's Floodplain Management regulations (Chapter 23, Article II, Floodplain Management) of the Land Development Code.
6. That the Applicant provide the City a certified drainage inspection report prior to the issuance of a certificate of occupancy.
7. That the property owner maintain the public rights-of-way adjacent to the property. Maintenance includes trees, plants, sod, and sidewalks within the rights-of-way.
8. A Stormwater Pollution Prevention Plan (SWPPP) must be submitted by the Applicant at time of building permit. The Plan should provide guidelines for implementing an erosion and sedimentation control program before the site is cleared or graded, including areas where topsoil will be removed and contours of slopes will be cleared. The Plan shall also include location and type of erosion control measures, storm water and sediment management systems, and a vegetative plan for temporary and permanent stabilization. The Plan shall remain on-site for the duration of the construction activity.
9. If more than one (1) acre of land is disturbed during construction the Contractor/Developer is responsible to obtain NPDES Stormwater permit coverage through the Florida Department of Environmental Protection (FDEP), Construction Generic Permit (CGP). If the project is less than one (1) acre, but part of a larger common plan of development or sale that will ultimately disturb one or more acres, permit coverage is also required.

Instruction to request and obtain a CGP can be found at:  
<http://www.dep.state.fl.us/water/stormwater/npdes/docs/cgp.pdf>.

Contractor/Developer should submit the Notice of Intent (NOI) with the appropriate processing fees to the NPDES Stormwater Notices Center. Contractor/Developer must apply for permit coverage at least two (2) days before construction begins.

10. Construction shall be permitted only during the hours set forth in Ordinance No. 2011-01 "Noise Ordinance."
11. That the Applicant comply with all applicable conditions and requirements of the Miami-Dade County Department of Regulatory and Economic Resources.

12. That the Applicant comply with all applicable conditions and requirements of the Miami-Dade County Fire Rescue Department.
13. All applicable local, state and federal permits must be obtained before commencement of the development.
14. Issuance of this development permit by the City of Doral does not in any way create any right on the part of an Applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the City of Doral for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.

**Section 3. Effective Date.** This Resolution shall become effective immediately upon its adoption.

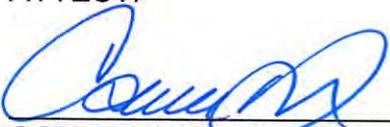
The foregoing Resolution was offered by Councilmember Cabrera who moved its adoption. The motion was seconded by Vice Mayor Cabral and upon being put to a vote, the vote was as follows:

Mayor Juan Carlos Bermudez	Yes
Vice Mayor Digna Cabral	Yes
Councilman Pete Cabrera	Yes
Councilwoman Claudia Mariaca	Yes
Councilman Oscar Puig-Corve	Yes

PASSED AND ADOPTED this 24 day of August, 2022.

  
\_\_\_\_\_  
JUAN CARLOS BERMUDEZ, MAYOR

ATTEST:

  
\_\_\_\_\_  
CONNIE DIAZ, MMC  
CITY CLERK

APPROVED AS TO FORM AND LEGAL SUFFICIENCY  
FOR THE USE AND RELIANCE OF THE CITY OF DORAL ONLY:

  
\_\_\_\_\_  
LUIS FIGUEREDO, ESQ.  
CITY ATTORNEY

# EXHIBIT “A”

EXHIBIT A

LEGAL DESCRIPTION

LOT 2, BLOCK 4, LESS THE NORTH 383 FEET OF LOT 2, INTERNATIONAL CORPORATE PARK SECTION 3, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 149, PAGE 93, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

# EXHIBIT “B”

**PROPOSED SITE STATISTICS:**

ZONING DESTINATION: "I" INDUSTRIAL DISTRICT

SITE AREA: 100, 869 SQ. FT.  
2.31 ACRES

OCCUPANCY: S-2 (LOW-HAZARD STORAGE) WITH B (BUSINESS)

CONSTRUCTION SITE: TYPE II-B

FIRE PROTECTION: ESFR SPRINKLER SYSTEM

LOT COVERAGE: 50% MAX. 39.70% PROVIDED

FAR: REQUIRED: 0.5 - 0.25 MAX.  
PROVIDED: 40, 141/ 100, 869 SQ. FT. = (0.39 FAR)

**BUILDING (DOCK HIGH LOADING) (SINGLE TENANT):**

BUILDING HEIGHT: +/- 40'-0"

INTERIOR CLEAR HEIGHT: 32'-0"

OFFICE: 3, 383 SQ. FT.

WAREHOUSE: 36, 758 SQ. FT.

TOTAL BUILDING AREA: 40, 141 SQ. FT.

CITY OF DORAL ZONING	INT. CORP. PARK DEV. GUID.
FRONT: REQUIRED: 20'-0"	REQUIRED: 50'-0"
PROVIDED: 75'-10"	PROVIDED: 75'-10"
REAR: REQUIRED: 5'-0"	REQUIRED: 10'-0"
PROVIDED: 10'-0"	PROVIDED: 10'-10"
SIDE: REQUIRED: 5'-0"	REQUIRED: 10'-0"
PROVIDED: 10'-0"	PROVIDED: 10'-10"
STREET SIDE: REQUIRED: 15'-0"	REQUIRED: 15'-0"
PROVIDED: N/A	PROVIDED: N/A
ADJACENT PROPERTY:	REQUIRED: 15'-0"
	PROVIDED: N/A
SEC. INT. ROADWAY:	REQUIRED: 25'-0"
	PROVIDED: 25'-0"

**LANDSCAPE OPEN SPACE REQUIRED (15%):**

100, 869 X 15% = 15, 130 SQ. FT.

36 PARKING SPACES X 10 SQ. FT./SPACE = 360 SQ. FT.

TOTAL REQUIRED: 15, 490 SQ. FT.

TOTAL PROVIDED LANDSCAPE AND OPEN SPACE (19.5%) = 19, 670 SQ. FT.

**OFF-STREET PARKING REQUIRED:**

OFFICE: 3, 500 SQ. FT. @ 1/300 = 12 SPACES

WAREHOUSE: 1st. 10, 000 SQ. FT. @ 1/1,000 = 10 SPACES  
REMAINING 27, 641 SQ. FT. @ 1/2,000 = 14 SPACES

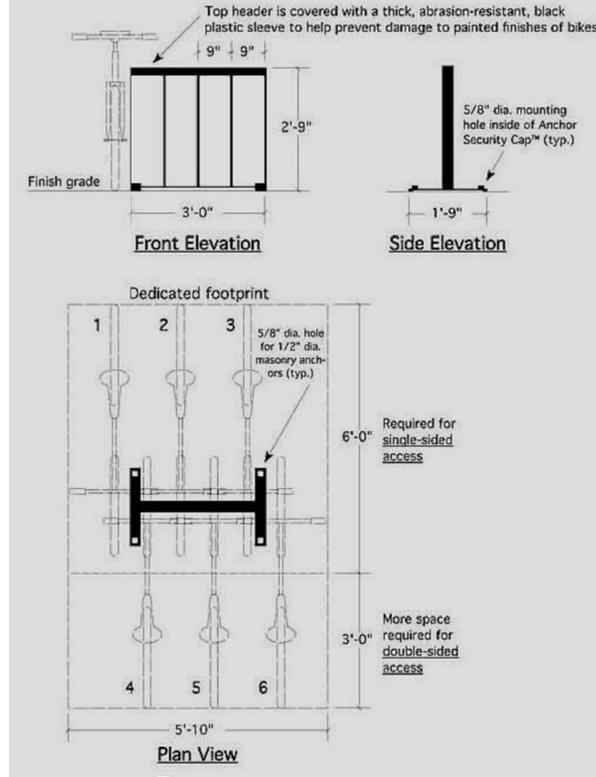
TOTAL SPACES REQUIRED: 36 SPACES

TOTAL SPACED PROVIDED: 36 SPACES (INCLUDING 2 H.C.)

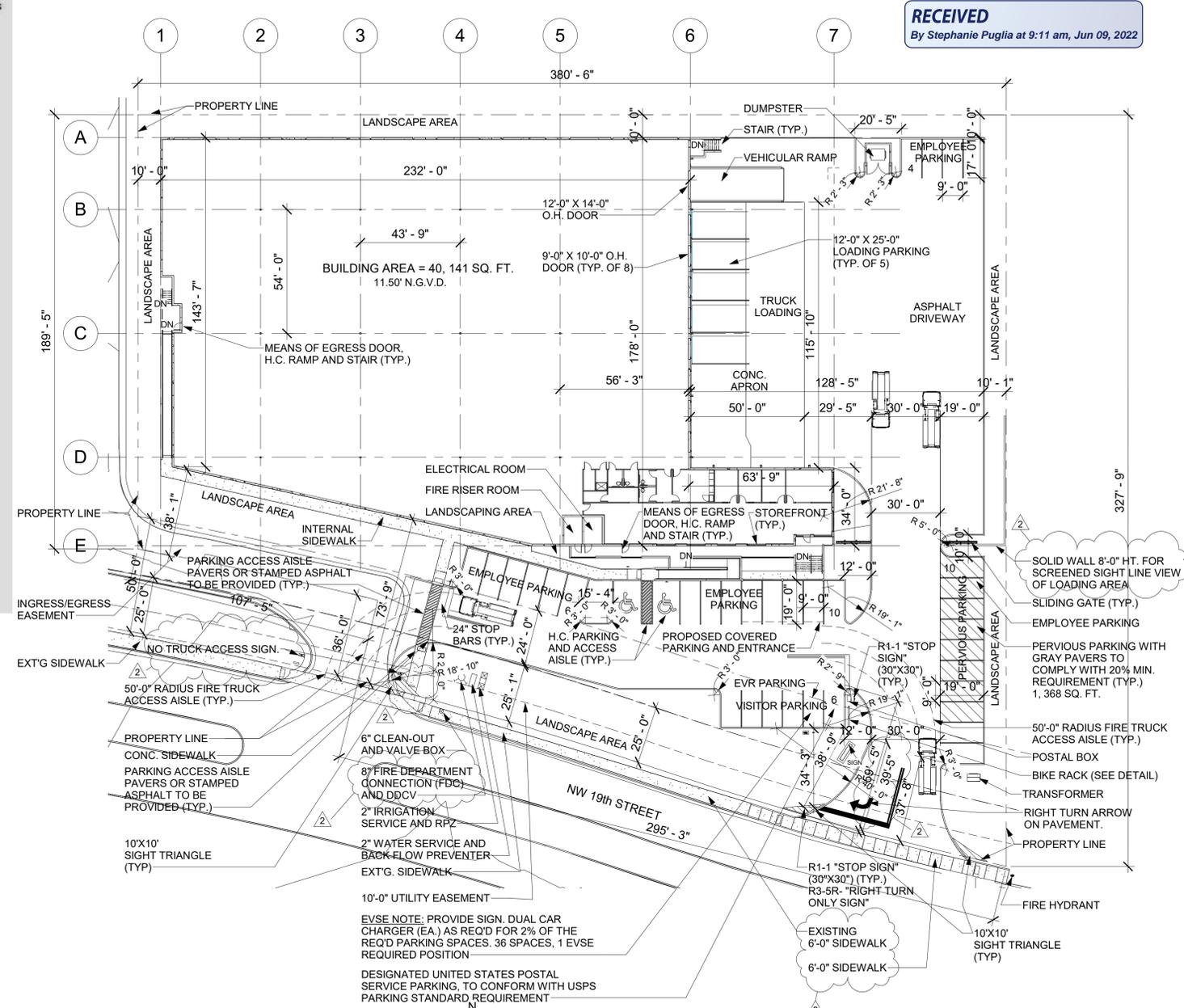
TOTAL PARKING AREA: 6, 088 SQ. FT.

AREA OF PVIOUS PARKING PROVIDED: 1, 368 SQ. FT. (20% MIN. REQUIRED)



**1 BIKE RACK DETAIL**  
A101 N.T.S.

**EXHIBIT B**



**SITE PLAN**  
SCALE: 1" = 30' - 0"

**RECEIVED**  
By Stephanie Puglia at 9:11 am, Jun 09, 2022



**CARLOS DIAZ ARCHITECTURE LLC**  
AA 26003972  
ARCHITECTURE  
1526 N.W. 89th CT  
MIAMI, FLORIDA 33172  
TEL: 305 599 2888  
FAX: 305 599 3885

CARLOS DIAZ ARCHITECTURE LLC  
The Design and Drawings for this Project are the property of the Architect and are protected under the Copyright Protection Act.  
ARCHITECTURE  
**ALEJANDRO PARDO**  
# AR96734  
1526 N.W. 89th CT  
MIAMI, FL 33172  
PH: (305) 599-2888

SITE PLAN FOR:

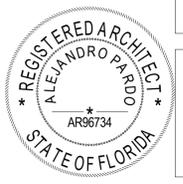
10405 NW 19th STREET  
DORAL, FL 33172

OWNER INFORMATION  
**FORTUNA REAL ESTATE LLC**  
325 S. BISCAYNE BLVD, STE 1119  
MIAMI, FL 33131

STATISTICS, SITE PLAN, DETAILS AND NOTES

SCALE AS NOTED  
PROJECT NO. 211097  
DATE 12-09-21

REVISIONS:  
1. BLDG. DEPT. COMM. 03-23-22  
2. BLDG. DEPT. COMM. 06-01-22



SHEET  
**A101**  
OF 4



CARLOS DIAZ  
ARCHITECTURE LLC

AA 26003972

ARCHITECTURE

1526 N.W. 89th CT  
MIAMI, FLORIDA 33172  
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FAX: 305 599 3885

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ARCHITECTURE

ALEJANDRO PARDO  
# AR96734  
1526 N.W. 89th CT.  
MIAMI, FL 33172  
PH: (305) 599-2588

SITE PLAN FOR:

10405 NW 19th STREET  
DORAL, FL 33172

OWNER INFORMATION

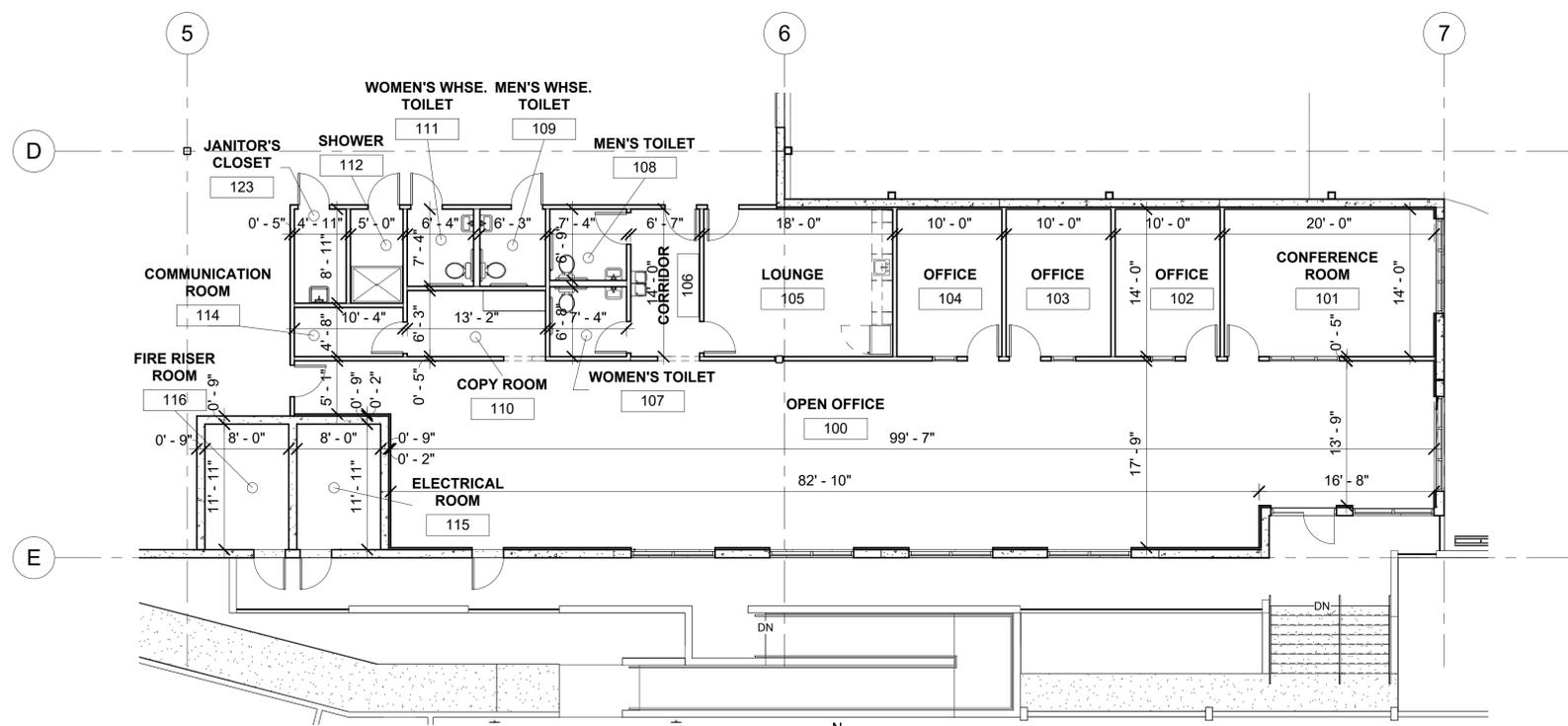
FORTUNA REAL  
ESTATE LLC  
C/O BOSK CONTRACTING  
855 POWERLINE ROAD, SUITE 107  
FORT LAUDERDALE, FL 33309  
PH: (561) 843-6689

OFFICE FLOOR PLAN AND  
WAREHOUSE PLAN

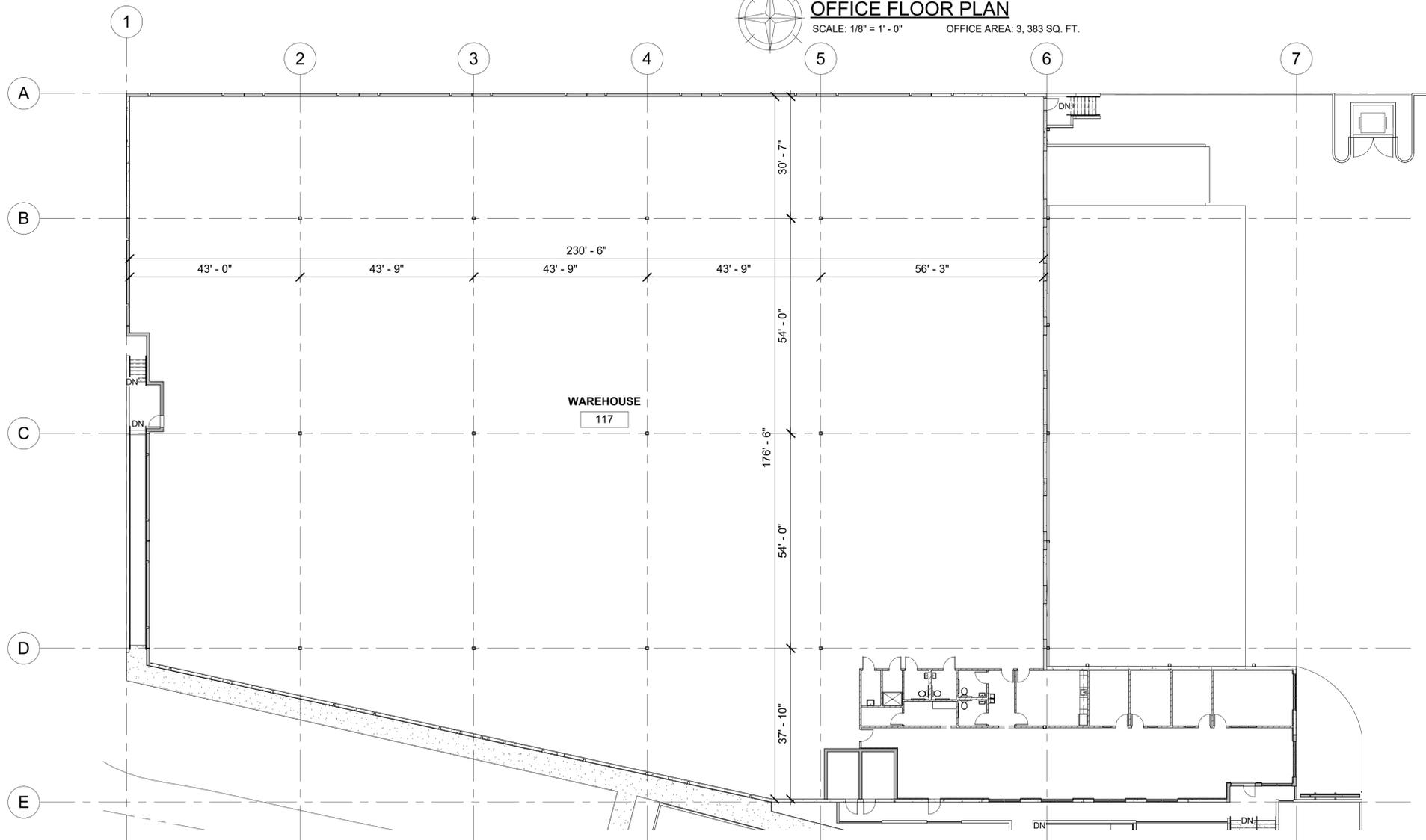
SCALE AS NOTED  
PROJECT NO. 211097  
DATE 01-10-22

REVISIONS:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

SHEET  
**A102**  
OF 4



**OFFICE FLOOR PLAN**  
SCALE: 1/8" = 1' - 0" OFFICE AREA: 3, 383 SQ. FT.



**WAREHOUSE FLOOR PLAN**  
SCALE: 1/16" = 1' - 0" WHSE. AREA: 36, 758 SQ. FT.

**COORDINATION NOTE:**  
COORDINATE WITH ALL OTHER DISCIPLINES.

**EXTERIOR COLOR NOTES:**  
PAINT:  
TEX-COTE XL-70 TEXTURED COATING AS MANUFACTURED BY TEXTURE COATINGS OF AMERICA, INC. ON TILT-UP WALL.  
CONTRACTOR SHALL PROVIDE AS FOLLOWS:  
A. BUILDING GENERAL FIELD: A TOTAL OF 2 COLORS TO SELECTED: OFF WHITE AND GREEN  
C. MISCELLANEOUS METALS: (DOORS, FRAMES, TRIMS, ETC.)  
FERROUS METALS:  
FIRST COAT: KEM KROMIC UNIVERSAL PRIMER (B50 SERIES) OR EQUAL  
COLOR: DARK GREY  
2 AND 3 COAT: A-100 SATIN (A 82 SERIES) OR EQUAL  
COLOR: DARK GREY  
ZINC COATED METALS:  
FIRST COAT: GALVITE (B50 SERIES) OR EQUAL  
2 AND 3 COAT: A-100 SATIN (A 82 SERIES) OR EQUAL  
COLOR: DARK GREY



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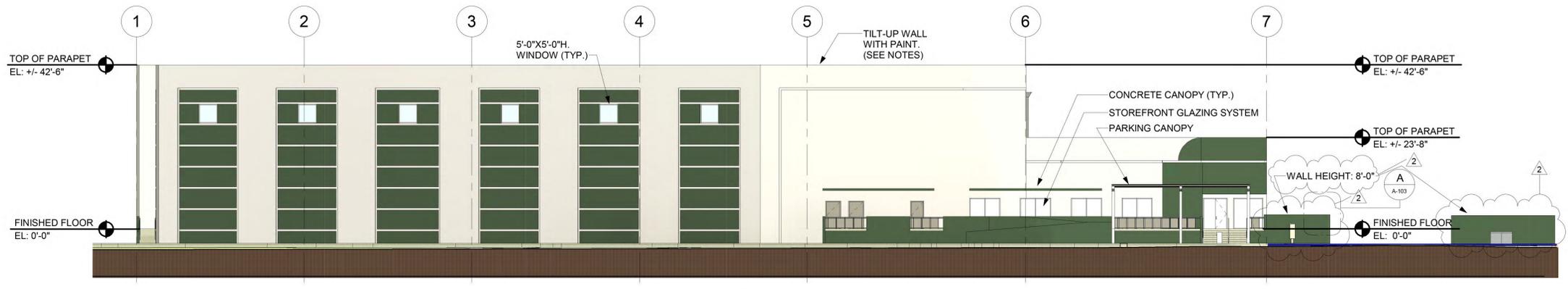
SITE PLAN FOR:  
10405 NW 19th STREET  
DORAL, FL 33172

OWNER INFORMATION  
**FORTUNA REAL ESTATE LLC**  
325 S. BISCAYNE BLVD, STE 1119  
MIAMI, FL 33131

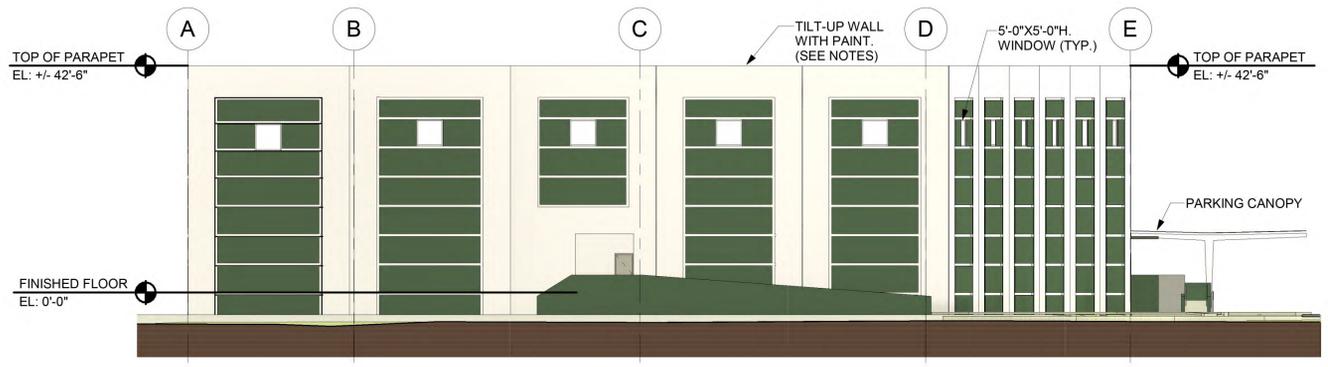
EXTERIOR ELEVATIONS  
SCALE AS NOTED  
PROJECT NO. 211097  
DATE 12-09-21

REVISIONS:  
2. BLDG. DEPT. COMM. REV. 06-01-22

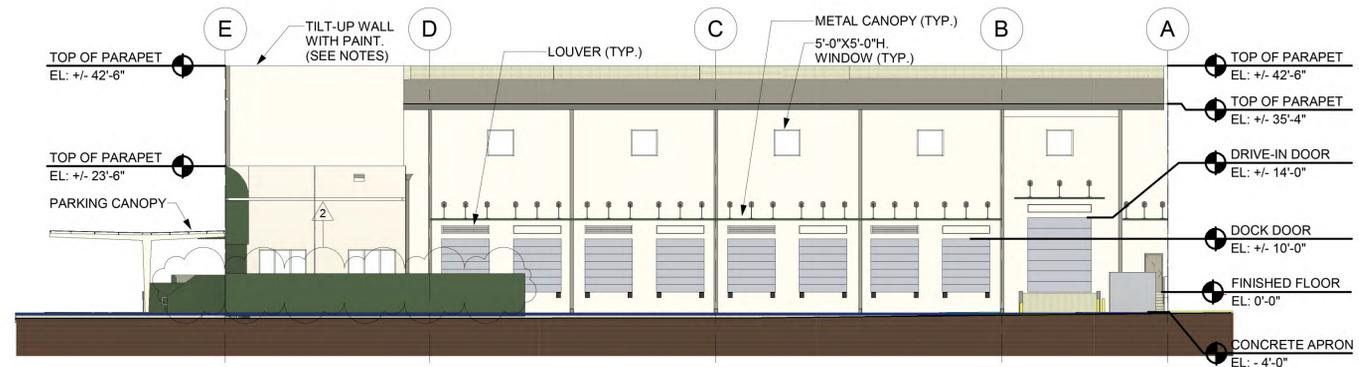
SHEET **A103**  
OF 4



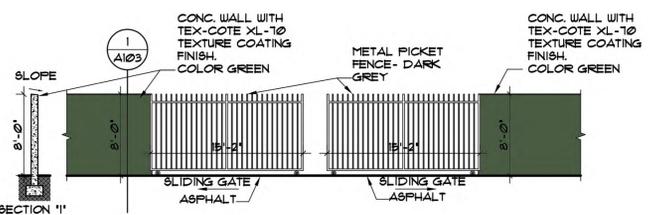
**1 SOUTH ELEVATION**  
SCALE: 1/16" = 1' - 0"



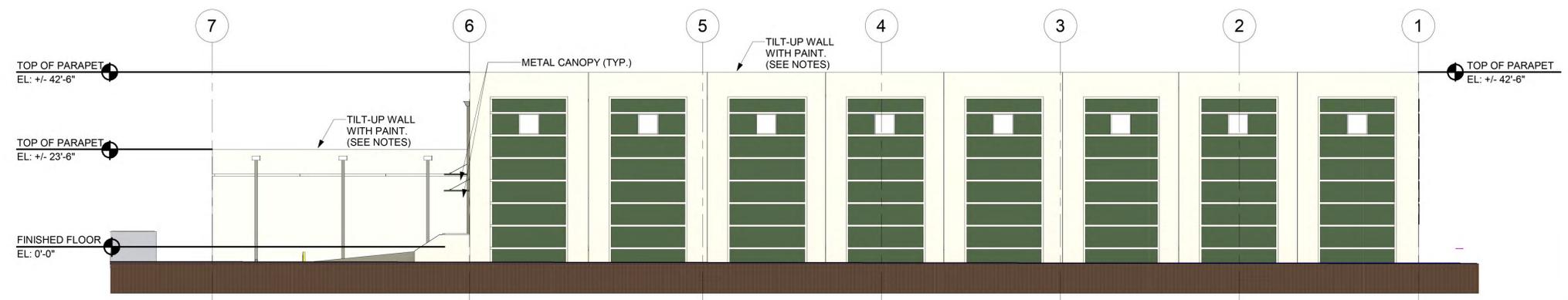
**2 WEST ELEVATION**  
SCALE: 1/16" = 1' - 0"



**3 EAST ELEVATION**  
SCALE: 1/16" = 1' - 0"



**A SLIDING GATE- ELEVATION**  
N.T.S.



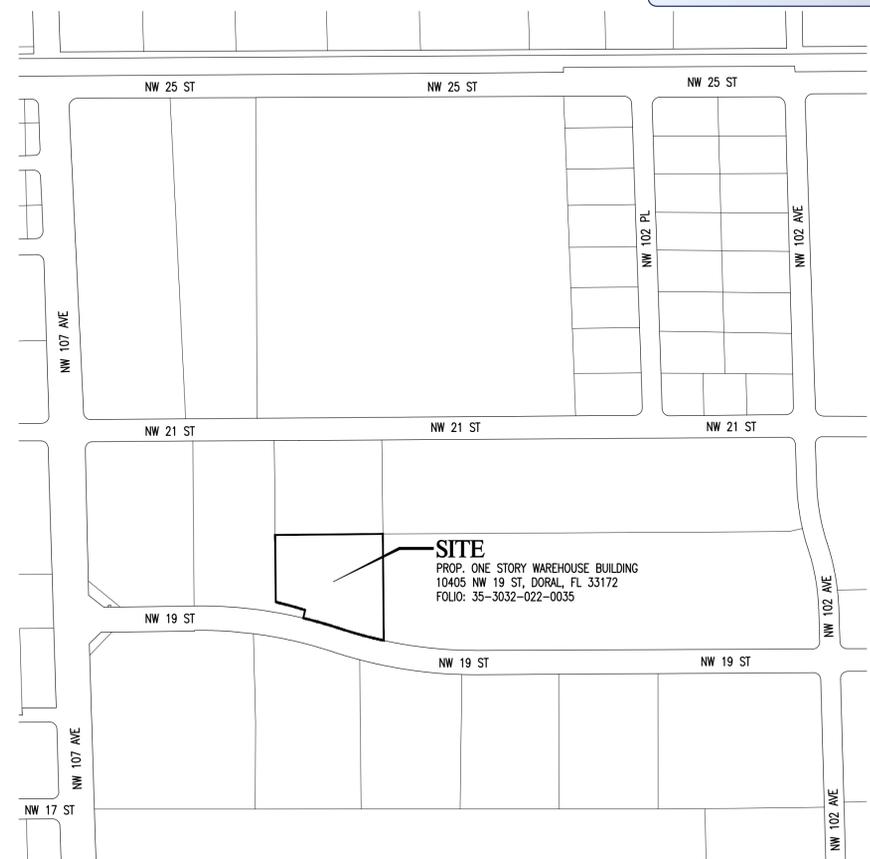
**4 NORTH ELEVATION**  
SCALE: 1/16" = 1' - 0"

**ENGINEER'S NOTES**

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MIAMI DADE COUNTY PUBLIC WORKS MANUAL AND DADE COUNTY SPECIFICATIONS AND APPLICABLE CITY OF DORAL STANDARDS.
2. ALL SECTIONS INDICATED HEREIN REFER TO THE PUBLIC WORKS MANUAL OF MIAMI DADE COUNTY AND CITY OF DORAL STANDARDS.
3. ALL UNDERGROUND INFORMATION SHALL BE VERIFIED WITH THE DIFFERENT UTILITY COMPANIES BEFORE THE START OF ANY CONSTRUCTION OR EXCAVATION, NEITHER THE ENGINEER OR OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THIS ITEM.
4. ALL UNDERGROUND INSTALLATIONS SHALL BE PROTECTED AT ALL TIMES DURING CONSTRUCTION AND EXCAVATION. ANY REQUIRED EXCAVATION/PIPE BACKFILL TO BE PLACED IN 12" MAXIMUM COMPACTED LIFT TO 95% DENSITY.
5. ALL DRAINAGE STRUCTURES SHALL BE CATCH BASINS TYPE-P OR J W/ BAFFLE WITH TRENCH PER DETAIL SHOWN ON PLAN. PERFORATED PIPE INVERT TO BE ABOVE THE OCTOBER HIGH WATER TABLE (3.9' N.G.V.D.) & 2.0' MIN. COVER.
6. BOTTOM OF TRENCH ELEVATION FOR DRAINAGE STRUCTURES TO BE 15 FEET FROM TOP OF CATCH BASIN.
7. FLOOD CRITERIA 7.20' N.G.V.D.
8. ALL ELEVATIONS REFER TO N.G.V.D.
9. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES (I.E. SANITARY SEWER INVERT) PRIOR TO CONSTRUCTION, SHOULD FIELD CONDITIONS DIFFER CONTACT ENGINEER IMMEDIATELY.
10. FOR LOCATION OF ASPHALT, RADIUS RETURNS, PEDESTRIAN RAMP, SIDEWALK, DUMPSTER PAD CONSTRUCTION AND SPECIFICATIONS SEE ARCHITECTS PLANS.
11. FEMA: ZONE "AH" ELEVATION 8.0', COMMUNITY NO. 120041 SUFFIX: L PANEL: 0266 DATED (09/11/09)
12. FOLIO # 35-3032-022-0035
13. CONTRACTOR TO APPLY SEDIMENT AND EROSION CONTROL MEASURES AROUND ENTIRE PROPERTY, SURROUNDING ALL AREAS OF CONSTRUCTION. SEE DETAILS AND NOTES. CONTRACTOR SHALL VERIFY WITH THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION OF NPDES PERMIT REQUIREMENTS AND OBTAIN SAID PERMIT.
14. CONTRACTOR SHALL PROVIDE AN AS-BUILT DRAWING FOR THE CLOSURE OF THE PROJECT PROVIDING ALL THE NECESSARY INVERTS, GRADES AND TRENCH SECTIONS SHOWING DEPTH OF TRENCH. AS-BUILT DRAWING SHALL BE SIGNED AND SEALED BY A LICENSED SURVEYOR AND TO BE CERTIFIED BY THIS OFFICE.
15. CONTRACTOR TO FOLLOW RECOMMENDATION BY GEOTECHNICAL ENGINEER FOR SUB-SURFACE PREPARATION.
16. ENGINEER IS NOT RESPONSIBLE FOR ANY AESTHETIC DEFECTS/DEFICIENCIES FROM THE CONSTRUCTION OF PROPOSED DESIGN AND SHALL BE COORDINATED WITH OWNER/DEVELOPER AT TIME OF ACCEPTANCE.

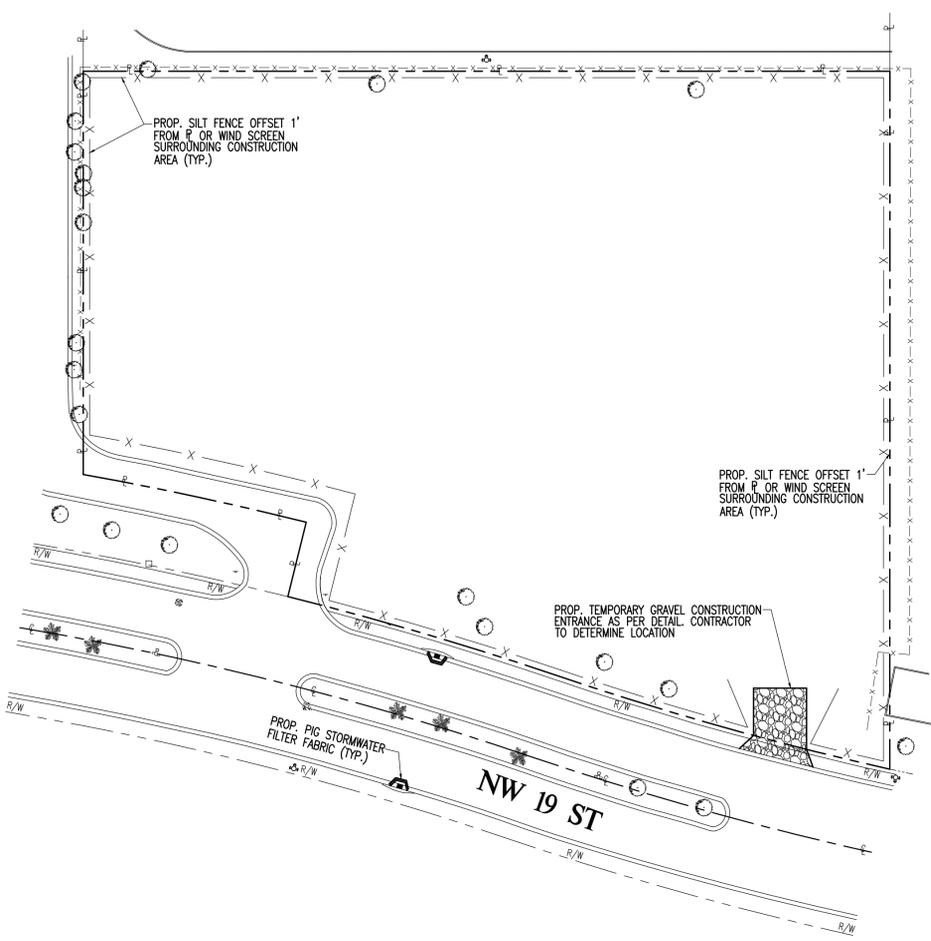
**UNDERGROUND CONTRACTORS**

1. UNDERGROUND CONTRACTOR SHALL COMPLY WITH THE TRENCH SAFETY ACT HB3183, FLORIDA STATUTES, WHICH INCORPORATES, BUT IS NOT LIMITED TO THE FOLLOWING:
  1. OSHA STANDARD 29 C.F.R. PART 1926, SUBPART P, EXCAVATION AND TRENCHES.
  2. CONTRACTOR BIDS FOR TRENCHES EXCAVATIONS (IN EXCESS OF 5 FEET DEEP) SHALL INCLUDE REFERENCE TO THE SAFETY STANDARDS, WRITTEN ASSURANCE OF COMPLIANCE, AND A SEPARATE ITEM IDENTIFYING THE COST OF COMPLIANCE.
  3. ADHERE TO ANY SPECIAL SHORING REQUIREMENTS OF THE STATE OR OTHER POLITICAL SUBDIVISION.
  4. ENGINEER IS NOT RESPONSIBLE FOR THE SAFETY OF THE EXCAVATION OR DESIGN AND CONSTRUCTION OF ANY SHORING.

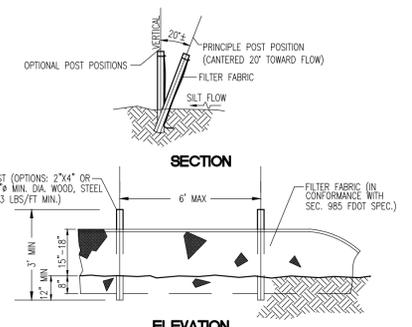


**LOCATION MAP**  
SCALE 1" = 300' S32-T53-R40

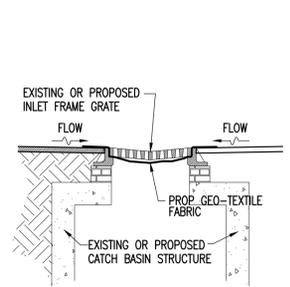
**LEGAL DESCRIPTION**



**STORM WATER POLLUTION PREVENTION PLAN**  
SCALE: 1"=40'

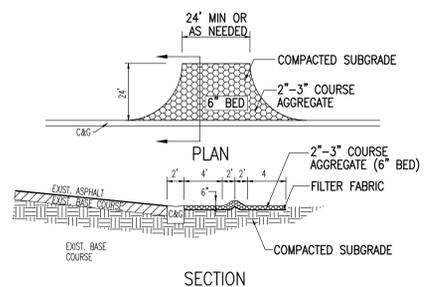


**TYPE III SILT FENCE**  
SCALE: NTS  
CONTRACTOR TO PROVIDE SILT FENCE SURROUNDING THE AREA OF CONSTRUCTION. MAINTAIN CONSTRUCTION ENTRANCES AND EXITS CLEAN / CLEAR OF SILT AND DEBRIS. CONTRACTOR IS RESPONSIBLE FOR OBTAINING FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION PERMIT AND PERFORM THE NECESSARY INSPECTIONS AND REPORTS OF SAID PERMIT, (IF REQUIRED).



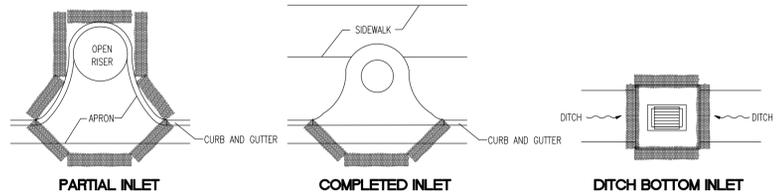
- NOTE:
1. CONTRACTOR SHALL PERFORM DAILY INSPECTIONS OF GEO-TEXTILE FABRIC BARRIER AND AS NECESSARY REPLACE OR REPAIR AS REQUIRED. SPECIFICALLY AFTER STORM EVENTS AND LARGE RAINFALL EVENTS.
  2. SEDIMENTATION AND DEBRIS THAT ARE REMOVED FROM BARRIERS SHALL BE LEGALLY DISPOSED OF AT AN AUTHORIZED OFF-SITE DISPOSAL FACILITY.

**DROP INLET SEDIMENT BARRIER**  
N.T.S.



1. ENTRANCE SHALL BE DETERMINED BY GENERAL CONTRACTOR BUT THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

**TEMPORARY GRAVEL CONSTRUCTION ENTRANCE**



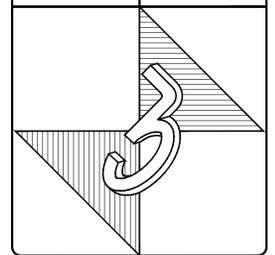
**PROTECTION AROUND INLETS OR SIMILAR STRUCTURES**  
SCALE: NTS

**Sunshine811**  
Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.  
Check positive response codes before you dig!

**INDEX OF SHEETS:**

- C-1 CIVIL COVER SHEET AND NOTES
- C-2 PROPOSED PAVING, GRADING AND DRAINAGE PLAN
- C-3 PROPOSED MARKING AND SIGNAGE PLAN
- C-4 PROPOSED ON-SITE WATER AND SEWER PLAN
- C-5 CIVIL DETAILS
- C-6 AUTOTURN ANALYSIS (WB-67 TRUCK)
- C-7 AUTOTURN ANALYSIS (GARBAGE TRUCK)

10405 NW 19 ST  
10405 NW 19 ST, DORAL, FL 33172; FOLIO: 35-3032-022-0035  
**CARLAB, INC.**  
CERTIFICATE OF AUTHORIZATION 6419  
ARCHITECTURE - PLANNING - ENGINEERING  
8730 SOUTHWEST 25TH STREET, MIAMI, FL 33165 TEL: 305 283-3512 FAX: 305 226-0438



Revisions	By:
Δ DRC COMMENTS (06/03/22)	R.M.M.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY SERGIO C. LABISTE, P.E. ON THE DATE ADJACENT TO THE SEAL.  
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.  
Date: 06/06/22 Seal  
SERGIO C. LABISTE P.E. #61733

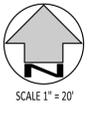
Date: 12/02/21  
Scale: AS SHOWN  
Drawn: L.M.M.  
Checked: S.C.L.  
Designed: R.M.M.  
Project No. 21-1807

Sheet No: **C-1**  
Sheet Title:  
**CIVIL COVER SHEET AND NOTES**

THESE PLANS ARE FOR BUILDING DEPARTMENT REVIEW. THEY ARE NOT TO BE CONSIDERED AS FINAL CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENT APPROVALS ARE OBTAINED AND COMMENTS INCORPORATED INTO THESE DWGS. DUE TO THE VARIATIONS IN INTERPRETATIONS OF THE CODE THAT OCCUR IN DIFFERENT MUNICIPALITIES FINAL APPROVAL AND REVIEW IS NEEDED TO ASSURE COMPLIANCE WITH THE APPLICABLE CODES AND STANDARDS.

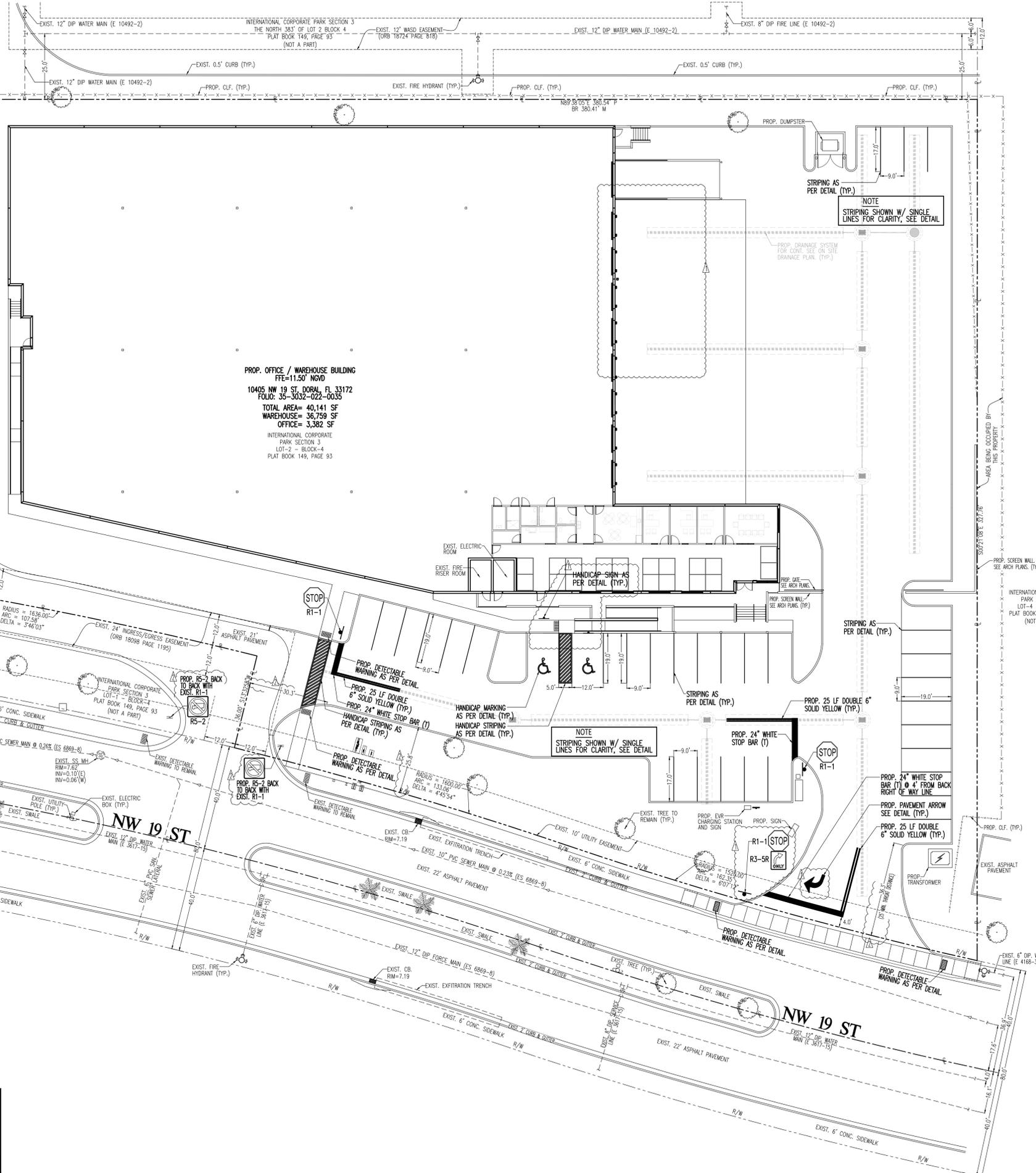


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SCALE 1" = 20'

INTERNATIONAL CORPORATE PARK SECTION 3  
LOT-1 - BLOCK-4  
PLAT BOOK 149, PAGE 93  
(NOT A PART)

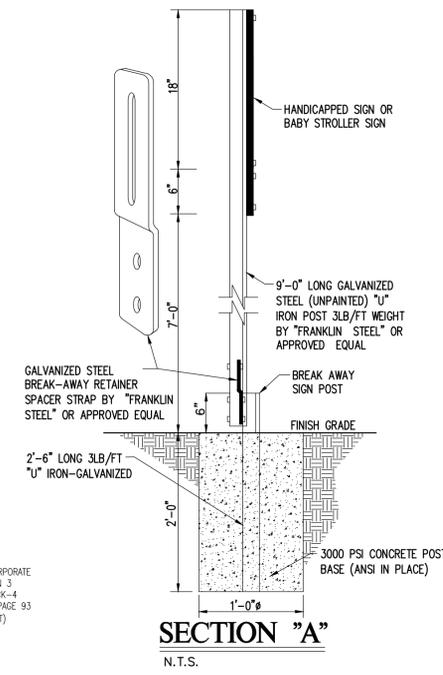


**PROP. OFFICE / WAREHOUSE BUILDING**  
FFE=11.50' NGVD  
10405 NW 19 ST, DORAL, FL 33172  
FOLIO: 35-3032-022-0035  
TOTAL AREA= 40,141 SF  
WAREHOUSE= 36,759 SF  
OFFICE= 3,382 SF  
INTERNATIONAL CORPORATE PARK SECTION 3  
LOT-2 - BLOCK-4  
PLAT BOOK 149, PAGE 93

**RECEIVED**  
By Stephanie Puglia at 9:12 am, Jun 09, 2022

**LEGEND**

- C CENTER LINE
- ME MONUMENT LINE
- PL PROPERTY LINE
- R/W RIGHT-OF-WAY LINE
- INV DENOTES INVERT
- TOP DENOTES TOP OF PIPE
- SWK DENOTES SIDEWALK
- TYP DENOTES TYPICAL
- PROP. DENOTES PROPOSED
- EXIST. FLOW DIRECTION
- PROPOSED TAPPING SLEEVE
- PROPOSED BACKFLOW
- PROPOSED WATER VALVE
- EXIST. DENOTES EXISTING
- TBFV TO BE FIELD VERIFIED
- EOP DENOTES EDGE OF PAVEMENT
- EXISTING OVER HEAD LINE
- EXISTING SEWER MANHOLE
- PROPOSED CATCH BASIN AND DRAIN
- PROPOSED TRAFFIC SIGN
- PROPOSED WATER METER
- PROPOSED CLEAN-OUT
- PROPOSED CORPORATION STOP
- PROPOSED TEE
- PROPOSED REDUCER



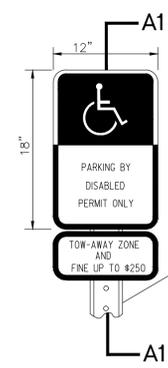
**SECTION "A"**

N.T.S.



USE OF PAVEMENT SYMBOL IN HANDICAPPED PARKING SPACES IS REQUIRED. WHEN USED THE SYMBOL SHALL BE 3 FT. HIGH AND WHITE IN COLOR.

**HANDICAPPED PAVEMENT SYMBOL**  
N.T.S.



**HANDICAPPED SIGN DETAIL**  
N.T.S.

TYPICAL CHARACTER AND SYMBOLS CONTRASTING BACKGROUND COLORS TO BE UNIVERSAL STANDARDS.  
MOUNT: GALV. POST  
LOCATION: AT EACH ACCESSIBLE PARKING SPACE  
TO PORTION SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOLS AND BORDER  
BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER  
9'-0" LONG GALVANIZED STEEL (UNPAINTED) "U" IRON POST 3LB/FT WEIGHT BY "FRANKLIN STEEL" OR APPROVED EQUAL

10405 NW 19 ST

10405 NW 19 ST, DORAL, FL 33172; FOLIO: 35-3032-022-0035

**CARLAB, INC.**  
CERTIFICATE OF AUTHORIZATION 6419  
ARCHITECTURE, PLANNING, ENGINEERING

8730 SOUTHWEST 25TH STREET, MIAMI, FL 33165 TEL: 305 283-3512 FAX: 305 226-6438

Revisions	By:
Δ DRC COMMENTS (03/29/22)	R.M.M.
Δ DRC COMMENTS (06/03/22)	R.M.M.

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Date: 06/06/22 Seal  
SERGIO C. LABISTE P.E. #61733

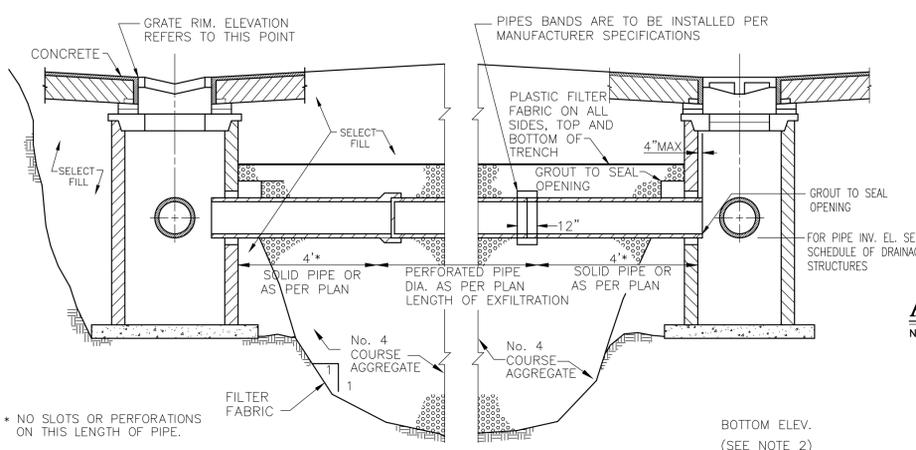
Date: 12/02/21  
Scale: AS SHOWN  
Drawn: L.M.M.  
Checked: S.C.L.  
Designed: R.M.M.  
Project No. 21-1807

Sheet No: **C-3**  
Sheet Title:  
**PROPOSED MARKING AND SIGNAGE PLAN**

**Sunshine811**  
Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.  
Check positive response codes before you dig!

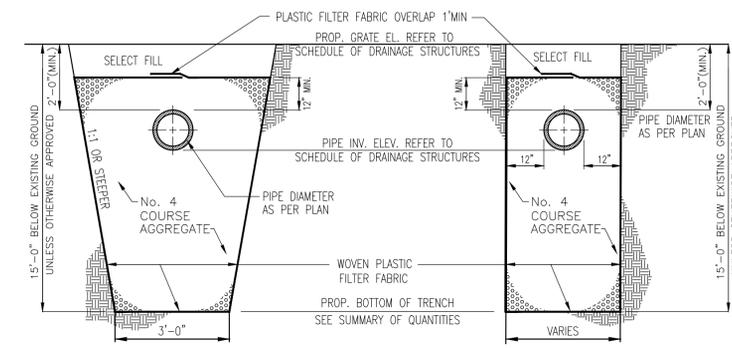


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**LONGITUDINAL SECTION**

- NOTES:
- AFTER THE COURSE AGGREGATE HAS BEEN PLACED TO THE PROPER ELEVATION IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF SETTLEMENT DOES TAKE PLACE, ADDITIONAL No. 4 COURSE AGGREGATE WILL BE ADDED TO RESTORE THE PROPER ELEVATION SO THAT EXFILTRATION TRENCH IS COMPLETED IN ACCORDANCE WITH THE DETAILS.
  - REFER TO ROADWAY RESTORATION DETAIL FOR FRENCH DRAIN INSTALLATION UNDER PAVEMENT



**ALT. TRANS. SECTION**

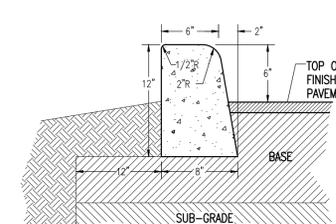
**TRANSVERSE SECTION**

MAY BE USED IN AREAS WHERE TRENCH WALLS WILL NOT STAND VERTICAL, OR WHERE CAVE IN BELOW THE WATER TABLE IS LIKELY TO OCCUR. TO BE USED AT THE ENGINEER'S DISCRETION.

- NOTES:
- PLASTIC FILTER FABRIC SHALL BE WOVEN MONOFILAMENT POLYPROPYLENE GEOTEXTILE.
  - THE BOTTOM OF THE EXFILTRATION TRENCH SHALL BE 15'-0" BELOW EXISTING GROUND ELEVATION, UNLESS FIELD CONDITIONS WARRANT OTHERWISE AND APPROVED.
  - IF THIS DETAIL IS TO BE USED FOR PRETREATMENT OF STORMWATER RUN-OFF, THE INVERT OF PIPE TO BE AS SHOWN IN W.C. 2.2; IF PRETREATMENT HAS BEEN PROVIDED THRU OTHER MEANS THE INVERT OF PIPE CAN BE LOWER THAN SHOWN IN W.C. 2.2.

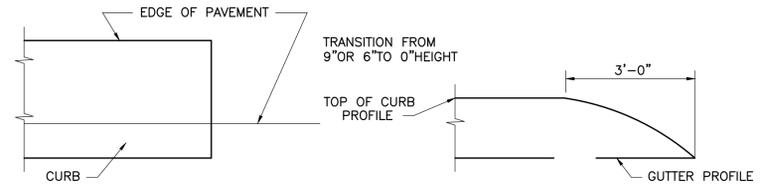
**EXFILTRATION TRENCH DETAIL**

N.T.S. SD 1.1



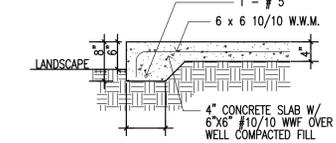
**TYPE "D" CURB**

N.T.S.



**DETAIL OF STANDARD CURB ENDING FOR 6" CURB**

N.T.S.



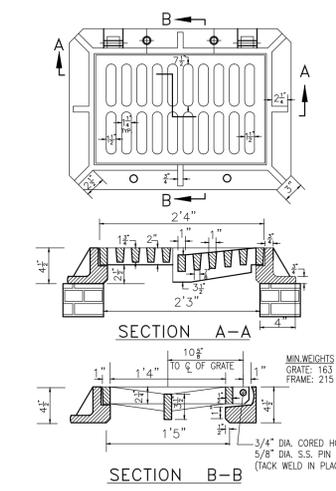
**SIDEWALK THICKENED EDGE DETAIL**

N.T.S.

APPLICABLE WHERE SIDEWALK ABUTS LANDSCAPING AREAS, REFER TO PLAN

**FRAME AND HINGE GRATE**

N.T.S. SD 2.3



**FRAME AND HINGE GRATE**

N.T.S. SD 2.3

MIN HEIGHTS TO C OF GRATE: 10 3/8\"/>

MIN HEIGHTS GRATE: 163 LBS. FRAME: 215 LBS.

3/4\"/>

S.S. STAINLESS STEEL

SECTION A-A

SECTION B-B

4\"/>

2\"/>

2\"/>

2\"/>

2\"/>

2\"/>

2\"/>

2\"/>

2\"/>

2\"/>

2\"/>

2\"/>

2\"/>

2\"/>

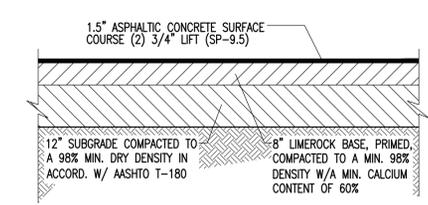
2\"/>

2\"/>

2\"/>

**ASPHALT SECTION PARKING AND DRIVEWAY**

N.T.S.

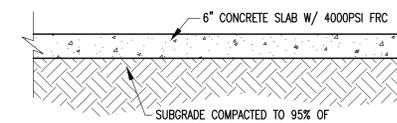


NOTE:

- APPLICABLE AT VEHICULAR TRAFFIC LOCATIONS WHERE ASPHALT IS SPECIFIED WITHIN PRIVATE PROPERTY. FOR PUBLIC ROADWAY SEE TYPICAL ROADWAY SECTION.
- CONTRACTOR REFER TO GEOTECHNICAL REPORT FOR SITE WORK SPECIFICATIONS.

**ASPHALT SECTION PARKING AND DRIVEWAY**

N.T.S.



CONCRETE PAVEMENT NOTES:

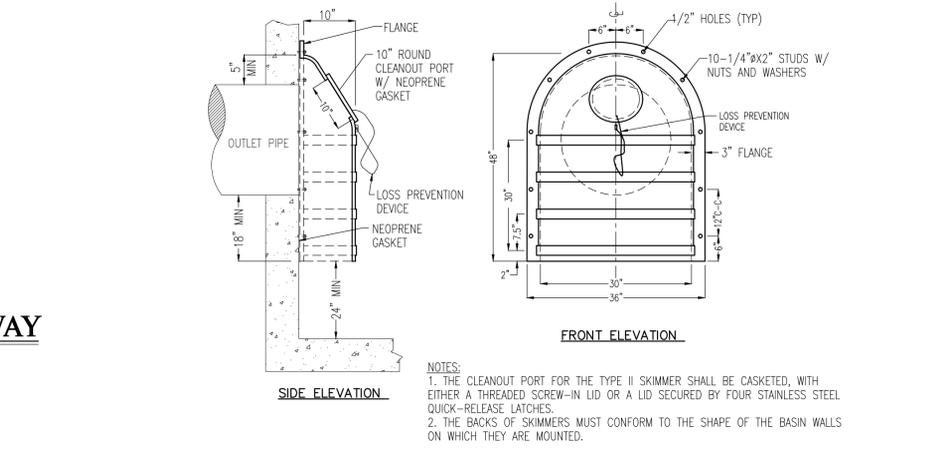
- STRENGTH: 4000PSI AT 28 DAYS COMPRESSIVE STRENGTH  
FINISH: STREET BROOM

**PAVEMENT TYPICAL SECTION**

N.T.S.

**TYPE II SKIMMER FOR FRENCH-DRAIN OUTLETS**

N.T.S.



**TYPE II SKIMMER FOR FRENCH-DRAIN OUTLETS**

N.T.S.

NOTES:

- THE CLEANOUT PORT FOR THE TYPE II SKIMMER SHALL BE CASKETING, WITH EITHER A THREADED SCREW-IN LID OR A LID SECURED BY FOUR STAINLESS STEEL QUICK-RELEASE LATCHES.
- THE BACKS OF SKIMMERS MUST CONFORM TO THE SHAPE OF THE BASIN WALLS ON WHICH THEY ARE MOUNTED.

**TYPE II SKIMMER FOR FRENCH-DRAIN OUTLETS**

N.T.S.

TRUNCATED DOME

DOMES TO BE IN-LINE W/ DIRECTION OF TRAVEL

TOP DIA. OF 50%-65% OF BASE DIAMETER.

BASE DIA. 0.9\"/>

PLAN VIEW

TRUNCATED DOME

1. DETECTABLE WARNINGS TO BE POURED IN PLACE.

2. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A NOMINAL DIAMETER OF 0.9\"/>

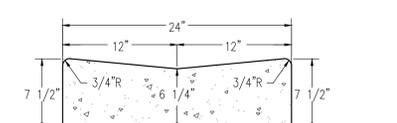
3. DETECTABLE WARNINGS SHALL EXTEND THE FULL WIDTH OF THE CURB RAMP (EXCLUSIVE OF FLARED SIDES) AND SHALL EXTEND EITHER THE FULL DEPTH OF THE CURB RAMP OR A MINIMUM OF 24\"/>

4. DETECTABLE WARNING ARE NOT TO BE INSTALLED ON TRANSITION SLOPES

5. DETECTABLE WARNING SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT

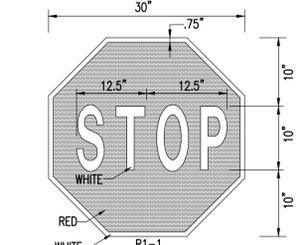
**DETECTABLE WARNING SURFACE**

N.T.S.



**VALLEY GUTTER DETAIL**

N.T.S.



**R-3 DETAIL**

N.T.S.

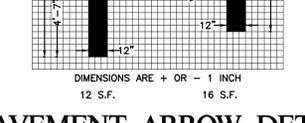
RETROREFLECTIVE FOR REFERENCE ONLY SEE MUTCD STANDARDS

**R-3 DETAIL**

N.T.S.

PAVEMENT ARROW DETAIL

N.T.S.



**PAVEMENT ARROW DETAIL**

N.T.S.

NOTE: WHEN ADJACENT TO A GREEN AREA AND AS SHOWN ON PLAN, THE PARKING SPACES CAN BE 9'W X 17'L.

ACCESSIBLE PARKING SIGN SEE DETAIL

ACCESSIBLE PARKING SPACE

SLOPE SHALL NOT EXCEED 2% IN ALL DIRECTIONS

WHITE

BLUE

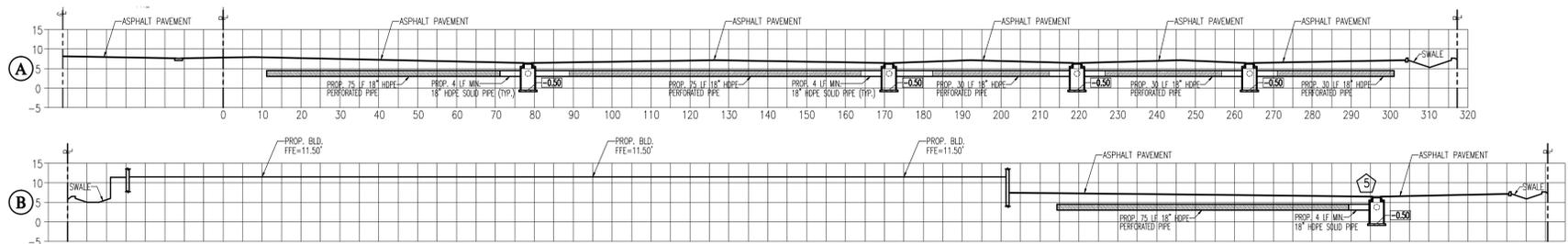
ACCESSIBLE SYMBOL WHITE, 3\"/>

9'0\"/>

SEE SITE PLAN

**ACCESSIBLE PARKING SPACE DETAIL**

N.T.S.



**GRADING SECTIONS**

SCALE: 1"=20'

10405 NW 19 ST

10405 NW 19 ST, DORAL, FL 33172; FOLIO: 35-3032-022-0035

**CARRILAB, INC.**  
CERTIFICATE OF AUTHORIZATION 6419  
ARCHITECTURE - PLANNING - ENGINEERING  
8730 SOUTHWEST 25TH STREET, MIAMI, FL 33165 TEL: 305 283-3512 FAX: 305 226-0438

Revisions	By:
Δ DRC COMMENTS (03/29/22)	R.M.M.

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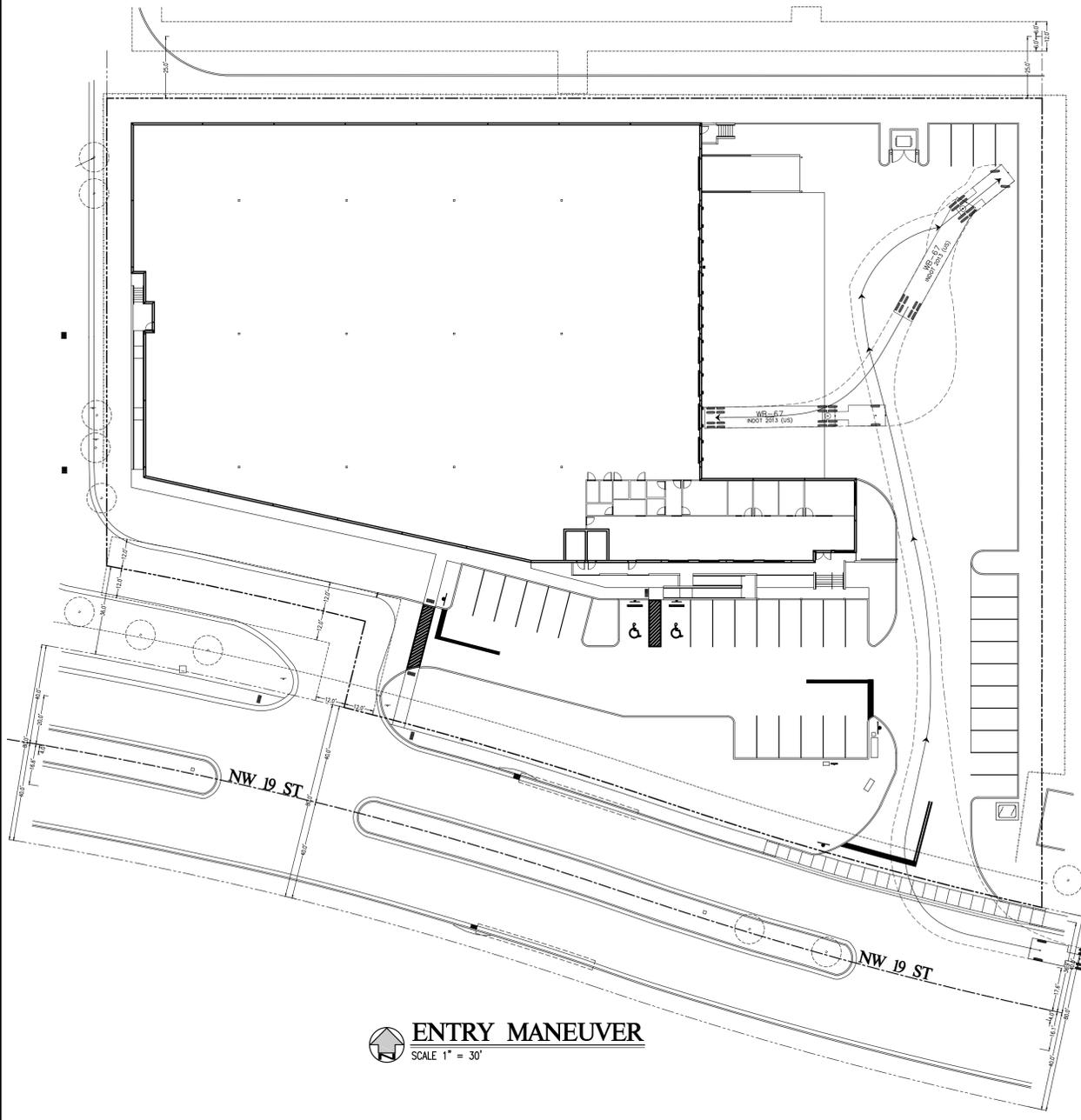
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SERGIO C. LABISTE P.E. #61733

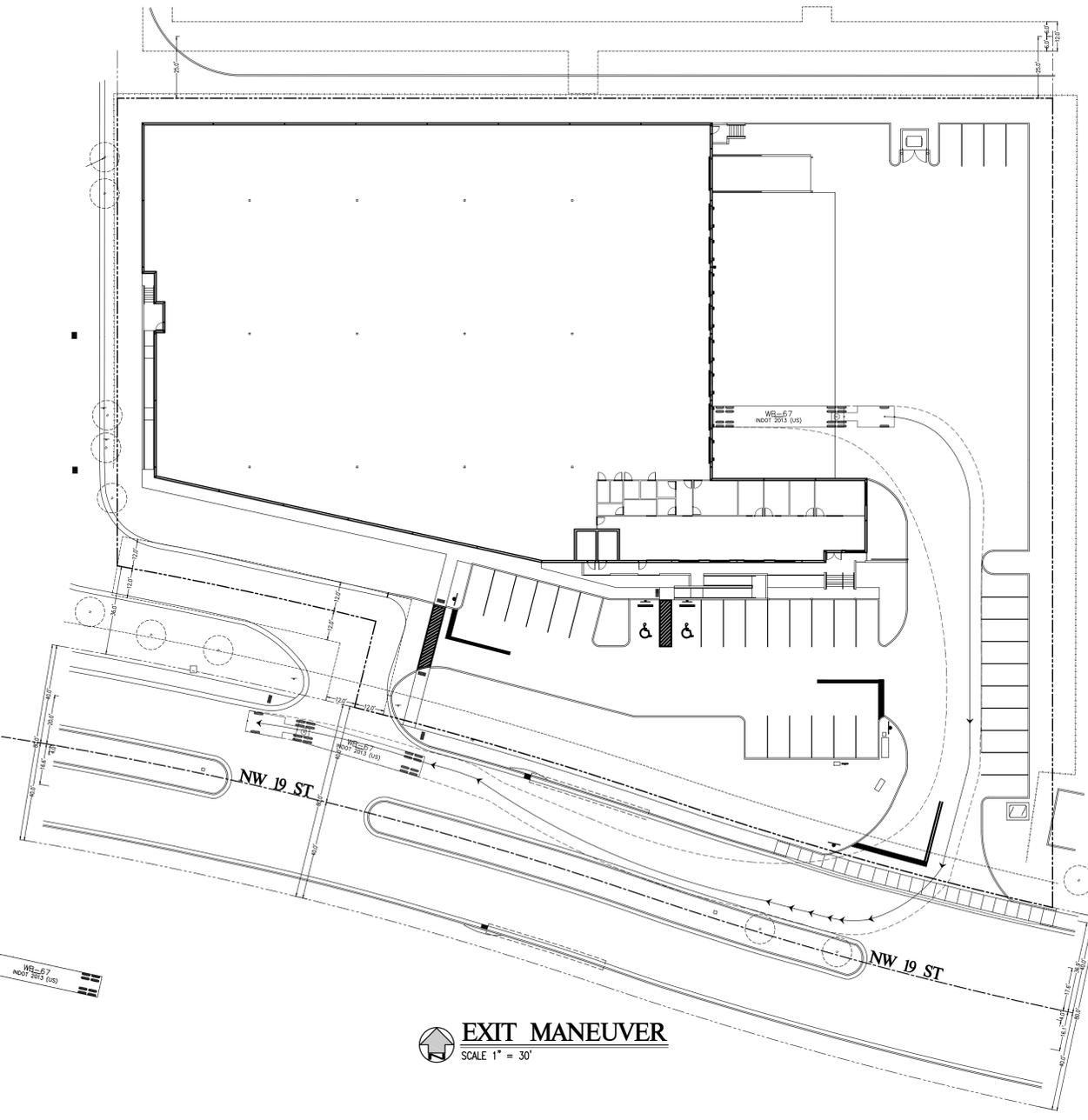
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Scale: AS SHOWN  
Drawn: L.M.M.  
Checked: S.C.L.  
Designed: R.M.M.  
Project No. 21-1807

Sheet No: **C-5**  
Sheet Title: **CIVIL DETAILS**

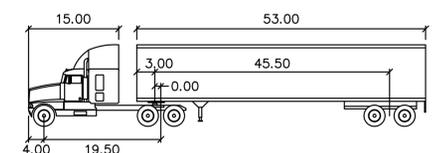
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**ENTRY MANEUVER**  
SCALE 1" = 30'



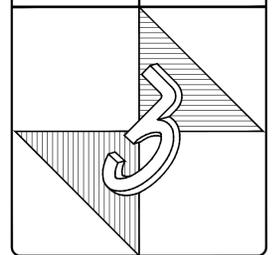
**EXIT MANEUVER**  
SCALE 1" = 30'



WB-67	feet		
Tractor Width	: 8.50	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.50	Articulating Angle	: 75.0
Trailer Track	: 8.50		

10405 NW 19 ST  
10405 NW 19 ST, MIAMI, FL 33172; FOLIO: 35-3032-022-0035

**C A R L A B, I N C.**  
CERTIFICATE OF AUTHORIZATION 6419  
ARCHITECTURE - PLANNING - ENGINEERING  
8730 SOUTHWEST 25TH STREET, MIAMI, FL 33165 TEL: 305 283-3512 FAX: 305 226-0438



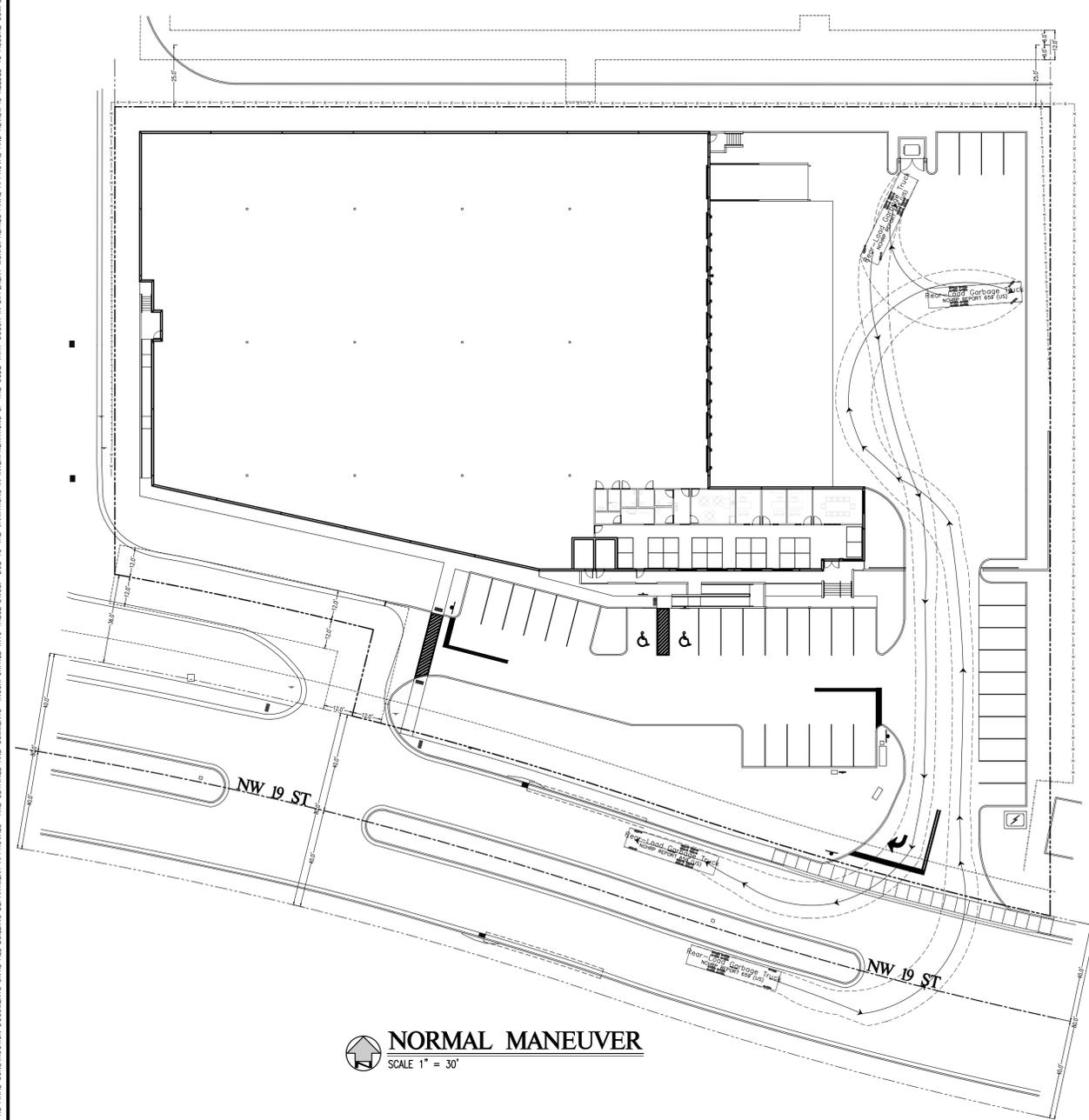
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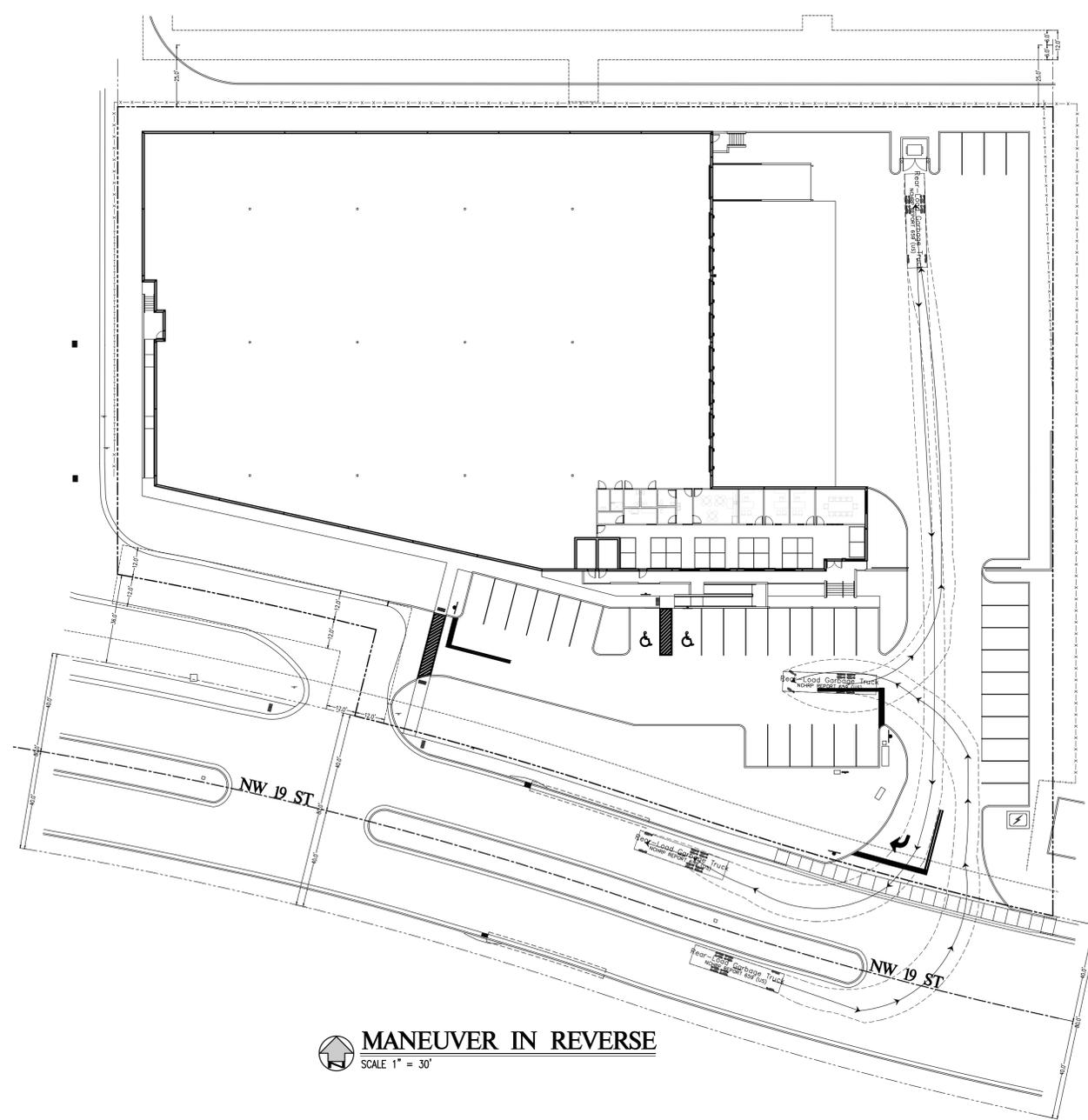
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Checked: S.C.L.  
Designed: R.M.M.  
Project No. 21-1807

Sheet No: **C-6**  
Sheet Title:  
**AUTOTURN ANALYSIS**

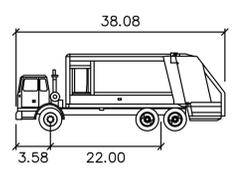
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**NORMAL MANEUVER**  
SCALE 1" = 30'



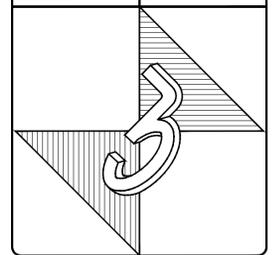
**MANEUVER IN REVERSE**  
SCALE 1" = 30'



Rear-Load Garbage Truck

	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 27.4

10405 NW 19 ST  
10405 NW 19 ST, DORAL, FL 33172; FOLIO: 35-3032-022-0035  
**C A R L A B, I N C.**  
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8730 SOUTHWEST 25TH STREET, MIAMI, FL 33165 TEL: 305 283-3512 FAX: 305 226-0438



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Date: 12/02/21  
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Drawn: L.M.M.  
Checked: S.C.L.  
Designed: R.M.M.  
Project No. 21-1807

Sheet No: **C-7**  
Sheet Title: **AUTOTURN ANALYSIS**

# SITE PLAN FOR:

10405 NW 19th STREET  
DORAL, FL 33172

## INDEX OF DRAWINGS

COVER SHEET

### SURVEY

ALTA SURVEY

### ARCHITECTURE

- A101 STATISTICS, SITE PLAN, DETAILS AND NOTES
- A102 OFFICE FLOOR PLAN AND WAREHOUSE PLAN
- A103 EXTERIOR ELEVATIONS

### CIVIL

- C-1 CIVIL COVER SHEET AND NOTES
- C-2 PROPOSED PAVING, DRAINAGE AND GRADING PLAN
- C-3 PROPOSED MARKING AND SIGNAGE PLAN
- C-4 PROPOSED ON-SITE WATER AND SEWER PLAN
- C-5 CIVIL DETAILS
- C-6 AUTOTURN ANALYSIS

### MEP

- ESP-1 PHOTOMETRIC SITE PLAN
- ESP-2 LIGHTING DETAILS
- ESP-3 LIGHTING DETAILS

### LANDSCAPING

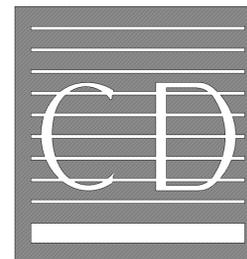
- L1 TREE DISPOSITION
- L2 LANDSCAPE PLAN
- L3 PLANTING DETAILS
- L4 PLANTING NOTES
- IP100 IRRIGATION PLAN
- IP200 IRRIGATION SCHEDULE AND DETAILS

LEGAL DESCRIPTION:

LOT 2, BLOCK 4, LESS THE NORTH 383 FEET OF LOT 2, INTERNATIONAL CORPORATE PARK SECTION 3, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 149, PAGE 93, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.



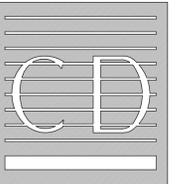
ARCHITECTURE	CARLOS DIAZ ARCHITECTURE LLC 1526 NW 89th CT. MIAMI, FLORIDA 33172 (305) 599 - 2888 FAX: (305) 599 - 3885



CARLOS DIAZ  
ARCHITECTURE LLC

SURVEY	BISCAYNE ENGINEERING 529 W FLAGLER STREET MIAMI, FL 33130 (305) 324 - 7671 FAX: (305) 324 - 0809
CIVIL	CARLAB, INC. 8730 SW 25th STREET MIAMI, FL 33165 (305) 283 - 3512 FAX: (305) 226 - 0438
MEP	PUGA AND ASSOCIATES, INC. 7700 N KENDALL DRIVE, SUITE 806 MIAMI, FL 33156 (305) 661 - 7700
LANDSCAPING	FP DESIGN LLC (305) 778 - 7136





CARLOS DIAZ  
ARCHITECTURE LLC

AA 26003972

ARCHITECTURE

1526 NW 89th CT  
MIAMI, FLORIDA 33172  
TEL: 305 599 2888  
FAX: 305 599 3885

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SITE PLAN FOR:

10405 NW 19th STREET  
DORAL, FLORIDA 33172

OWNER INFORMATION:

FORTUNA REAL ESTATE LLC  
329 S BISCAYNE BLVD.  
STE. 105  
MIAMI, FL 33130

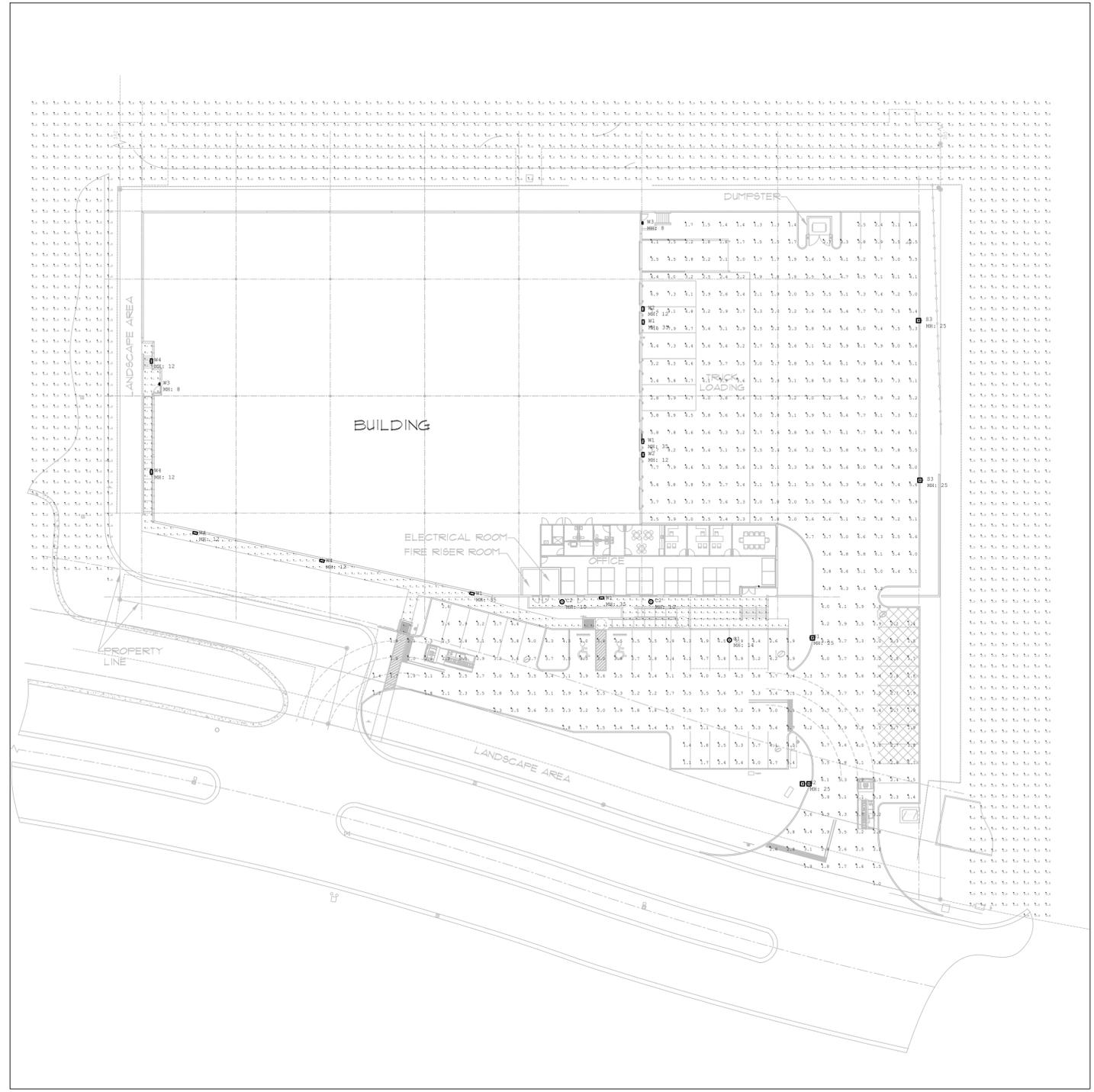
**P** Puga and Associates, Inc.  
Engineers/Consultants  
7700 N. Kendall Drive, Suite 806  
Miami, Florida 33156  
(305) 661-7700

PHOTOMETRIC  
SITE PLAN

SCALE AS NOTED  
PROJECT NO. 211097  
DATE 07-27-21

REVISIONS:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

SHEET  
ESP-1  
OF

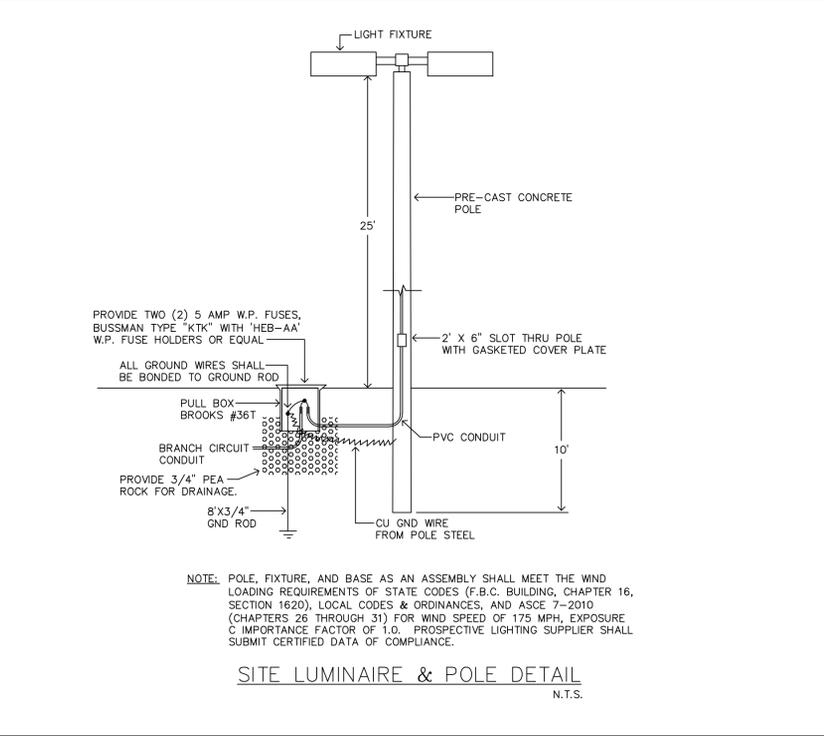


PHOTOMETRIC SITE PLAN  
SCALE: 1" = 30'-0"

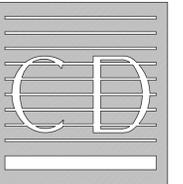


Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	Total Watts
○	1	C1	SINGLE	0.900	LSI Industries OPS-10L-5Q-40R8	66	66
○	2	C2	SINGLE	0.900	LSI Industries OPS-05L-5R-40R8	30	60
□	1	S1	SINGLE	0.900	LSI Industries MRS-LED-18L-SIL-FT-50-70CRI	135	135
□	1	S2	D180	0.900	LSI Industries MRS-LED-18L-SIL-FT-50-70CRI	135	270
□	2	S3	SINGLE	0.900	LSI Industries MRW-LED-48L-SIL-FT-40-70CRI-IL	401	802
□	4	W1	SINGLE	0.900	LSI Industries XWM-FT-LED-21L-40	175	700
□	2	W2	SINGLE	0.900	LSI Industries XWM-2-LED-08L-40	62	124
□	2	W3	SINGLE	0.900	GE Lighting ENLS02817AF740N1CB-EMBB	12	24
□	4	W4	SINGLE	0.900	LSI Industries XWM-2-LED-04L-40	29.5	118

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Light Spill	Illuminance	Fc	0.01	0.3	0.0	N.A.	N.A.
Parking Lot	Illuminance	Fc	3.12	6.5	1.0	3.12	6.50
Pedestrian Walkway	Illuminance	Fc	4.13	10.4	1.4	2.95	7.43
Truck Loading	Illuminance	Fc	4.33	8.4	1.3	3.33	6.46



SITE LUMINAIRE & POLE DETAIL  
N.T.S.



CARLOS DIAZ  
ARCHITECTURE LLC

AA 26003972

ARCHITECTURE

1526 NW. 89th CT  
MIAMI, FLORIDA 33172  
TEL: 305 599 2888  
FAX: 305 599 3885

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SITE PLAN FOR:

10405 NW 19th STREET  
DORAL, FLORIDA 33172

OWNER INFORMATION:

FORTUNA REAL ESTATE LLC  
329 & BISCAYNE BLVD.  
STE. 105  
MIAMI, FL 33133

Puga and Associates, Inc.  
Engineers/Consultants  
7700 N. Kendall Drive, Suite 806  
Miami, Florida 33156  
(305) 661-7700

LIGHTING DETAILS

SCALE AS NOTED  
PROJECT NO. 211097  
DATE 07-27-21

REVISIONS:

Table with 2 columns: Description, Date. Contains several empty rows for revisions.

SHEET

ESP-2

OF



Technical drawing for Mirada Small Area (MRS) Outdoor LED Area Light. Includes job name (MRS-LED-18L-SIL-FIT-UNV-DIM-40-70CRI), catalog number, type (S2), overview table, quick links, features & specifications, construction details, warranty, and electrical information.

Technical drawing for Mirada Small Area (MRS) Outdoor LED Area Light. Includes job name (MRS-LED-18L-SIL-FIT-UNV-DIM-40-70CRI), catalog number, type (S1), overview table, quick links, features & specifications, construction details, warranty, and electrical information.

Technical drawing for Opulence Small Pendant & Surface Mount (OPS) Outdoor Pendant & Surface Mount Luminaire. Includes job name (OPS-SD-10L-5Q-UNV-40K8), catalog number, type (C1), overview table, quick links, features & specifications, construction details, warranty, and electrical information.

Technical drawing for Utilities Structures Inc. US134THIS-10676. Shows a cross-section of a prestressed concrete pole with dimensions (25' height, 5' x 2 3/8" OD) and specifications for materials and components.

Technical drawing for Utilities Structures Inc. US134THIS-10676. Shows a cross-section of a prestressed concrete pole with dimensions (25' height, 5' x 2 3/8" OD) and specifications for materials and components.

Technical drawing for Opulence Small Pendant & Surface Mount (OPS) Outdoor Pendant & Surface Mount Luminaire. Includes job name (OPS-SD-5L-5R-UNV-40K8), catalog number, type (C2), overview table, quick links, features & specifications, construction details, warranty, and electrical information.

Genesis Lighting logo  
 Catalog #: \_\_\_\_\_ Project: \_\_\_\_\_  
 Prepared By: \_\_\_\_\_ Date: \_\_\_\_\_ Type: \_\_\_\_\_



OVERVIEW	
Lumen Package	2000 - 48,000
Wattage Range	48 - 401
Efficacy Range (LPW)	117 - 160
Weight (lbs/kg)	30 (13.6)

**QUICK LINKS**  
[Ordering Guide](#) [Performance](#) [Photometrics](#) [Dimensions](#)

**FEATURES & SPECIFICATIONS**

**Construction**

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square or round poles.
- Fixtures are finished with LS's DuraGrip™ polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 37 lbs in carton.

**Optical System**

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 5W, FT, FTA and AM.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
- Zero uplight.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak Intensity at 610nm.
- Minimum CRI of 70.
- Integral lower (L) and house-side shield (H) options available for improved backlight control without sacrificing street side performance. See page 3 for more details.

**Electrical**

- High-performance programmable driver features over-voltage, under-voltage, short-circuit and over temperature protection. Custom lumen and wattage packages available.
- 0-10V dimming (0% - 100%) standard.
- Standard Universal Voltage (200-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- L80 Calculated Life: >100K Hours (See Lumen Maintenance on Page 5)
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L and 48L lumen packages rated to +40°C.
- Power factor: >90
- Input power stays constant over life.
- Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- Meets Buy American Act requirements. IDA compliant with 3000K or lower color temperature selection.
- Title 24 Compliant: see local ordinance for qualification information.
- IP66 rated Luminaire per IEC 60598.
- 3G rated for ANSI C136.31 high vibration applications when pole mounted (using optional XPMa bracket) or wall mounted.
- DesignLights Consortium™ (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QLP](http://www.designlights.org/QLP) to confirm which versions are qualified.
- Patented Silicone Optics (US Patent NO. 10,816,165 B2)
- IP68 rated luminaire per IEC 60622 mechanical impact code
- IP68 rated luminaire per IEC 60622 mechanical impact code
- LS's AirLink™ wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7 (see page 9 for more details).

**Installation**

- Designed to mount to square or round poles.
- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga. wire.
- Utilizes LS's traditional 3" drill pattern B3 for easy fastening of LSI products. (See drawing on page 9)

**Warranty**

- LSI LED Fixtures carry a 5-year warranty.

**Listings**

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- IDA compliant with 3000K or lower color temperature selection.
- Title 24 Compliant: see local ordinance for qualification information.
- IP66 rated luminaire per IEC 60598.
- 3G rated for ANSI C136.31 high vibration applications when pole mounted (using optional XPMa bracket) or wall mounted.
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**Controls**

- Integral passive infrared Bluetooth™ motion and photocell sensor options. Fixtures operate independently and can be commissioned via an iOS or Android configuration app. Updates and modifications to the control strategy are easily implemented via an intuitive app.
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Genesis Lighting logo  
 Catalog #: \_\_\_\_\_ Project: \_\_\_\_\_  
 Prepared By: \_\_\_\_\_ Date: \_\_\_\_\_ Type: \_\_\_\_\_



OVERVIEW	
Lumen Range	3,000 - 21,000
Wattage Range	23 - 175
Efficacy Range (LPW)	107 - 148
Weight (lbs/kg)	30 (13.6)

**QUICK LINKS**  
[Ordering Guide](#) [Performance](#) [Photometrics](#) [Dimensions](#)

**FEATURES & SPECIFICATIONS**

**Construction**

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Hinged die-cast aluminum wiring access door located underneath.
- Galvanized-steel universal wall mount bracket comes standard with hinging mechanism to easily access the junction box wire connections without removing the luminaire.
- Optional pole-mounting bracket (XPMa) permits mounting to standard poles.
- Fixtures are finished with LS's DuraGrip™ polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 30 lbs in carton.

**Optical System**

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- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
- Zero uplight.
- Available in 5000K, 4000K and 3000K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak Intensity at 610nm.
- Minimum CRI of 70.

**Electrical**

- High-performance programmable driver features over-voltage, under-voltage, short-circuit and over temperature protection. Custom lumen and wattage packages available.
- 0-10V dimming (0% - 100%) standard.
- Standard Universal Voltage (200-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- L80 Calculated Life: >100K Hours
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F).
- Power factor: >90
- Input power stays constant over life.
- Optional 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficiency LEDs mounted to metal-core circuit board to maximize heat dissipation
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed via hinged door.
- Optional integral emergency battery pack provides 90-minutes of constant power to the LED system, ensuring code compliance. A test switch/indicator button is installed on the housing for ease of maintenance. The fixture delivers 1500 lumens during emergency mode.

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Genesis Lighting logo  
 Catalog #: \_\_\_\_\_ Project: \_\_\_\_\_  
 Prepared By: \_\_\_\_\_ Date: \_\_\_\_\_ Type: \_\_\_\_\_



OVERVIEW	
Lumen Range	3,000 - 21,000
Wattage Range	23 - 175
Efficacy Range (LPW)	107 - 148
Weight (lbs/kg)	30 (13.6)

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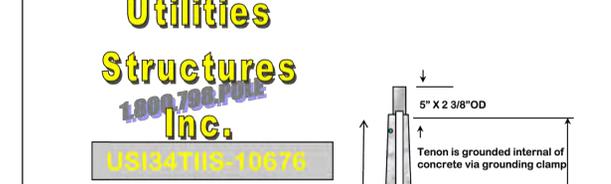
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Genesis Lighting logo  
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 Prepared By: \_\_\_\_\_ Date: \_\_\_\_\_ Type: \_\_\_\_\_



OVERVIEW	
Lumen Range	3,000 - 21,000
Wattage Range	23 - 175
Efficacy Range (LPW)	107 - 148
Weight (lbs/kg)	30 (13.6)

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Genesis Lighting logo  
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OVERVIEW	
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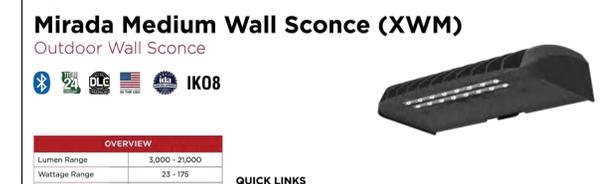
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 Catalog #: \_\_\_\_\_ Project: \_\_\_\_\_  
 Prepared By: \_\_\_\_\_ Date: \_\_\_\_\_ Type: \_\_\_\_\_



OVERVIEW	
Lumen Range	3,000 - 21,000
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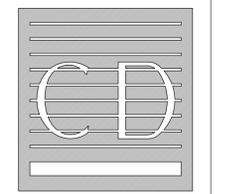
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 ARCHITECTURE LLC  
 AA 26003972  
 ARCHITECTURE

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 MIAMI, FLORIDA 33172  
 TEL: 305 599 2888  
 FAX: 305 599 3885

CARLOS DIAZ ARCHITECTURE LLC  
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SITE PLAN FOR:  
 10405 NW 19th STREET  
 DORAL, FLORIDA 33172

OWNER INFORMATION:  
 FORTUNA REAL ESTATE LLC  
 328 & BISCAYNE BLVD.  
 STE. 105  
 MIAMI, FL 33139

Puga and Associates, Inc.  
 Engineers/Consultants  
 7700 N. Kendall Drive, Suite 806  
 Miami, Florida 33156  
 (305) 661-7700

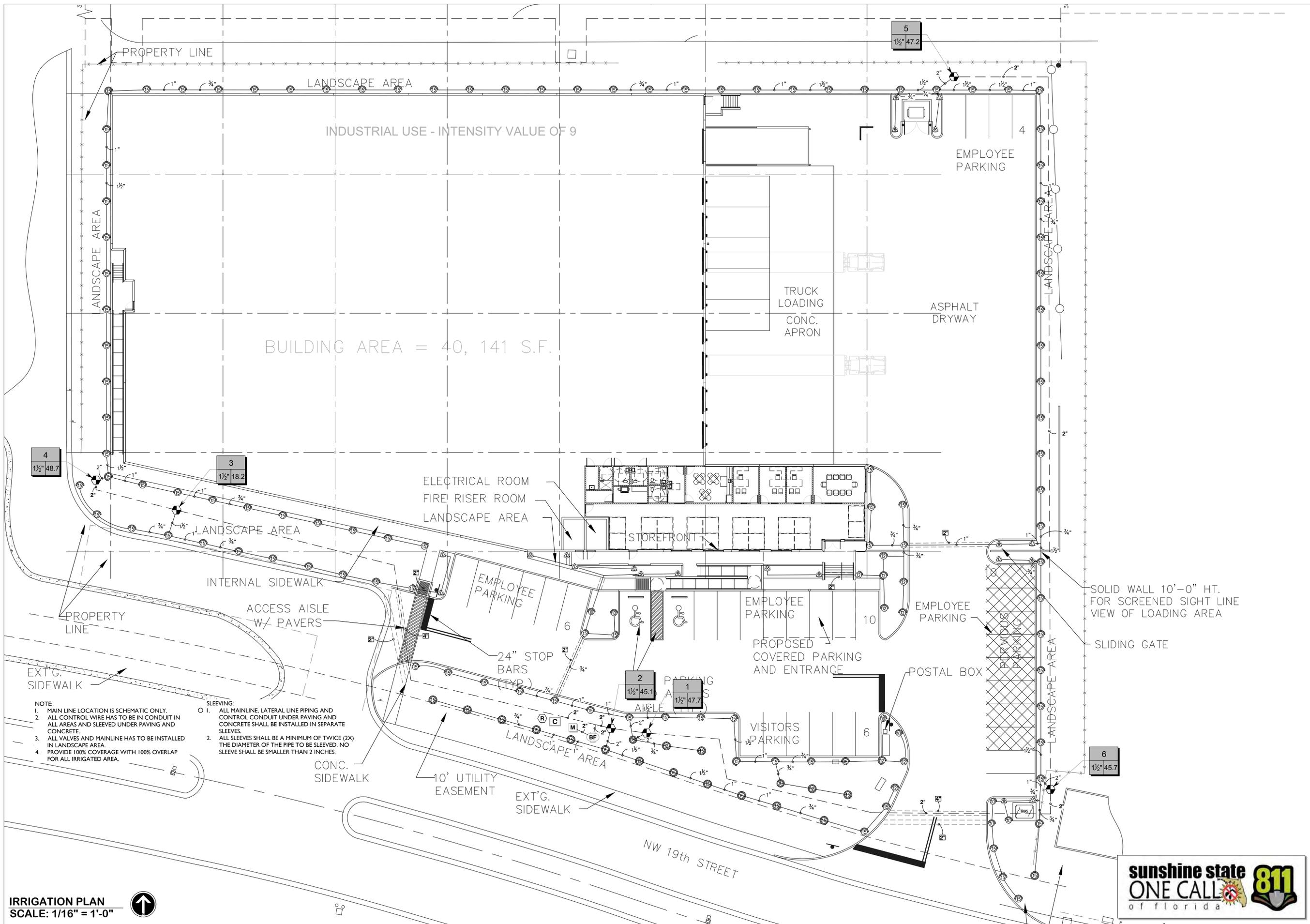
LIGHTING DETAILS

SCALE AS NOTED  
 PROJECT NO. 21097  
 DATE 07-27-21

REVISIONS:

SHEET  
 ESP-3  
 OF





- NOTE:**
1. MAIN LINE LOCATION IS SCHEMATIC ONLY.
  2. ALL CONTROL WIRE HAS TO BE IN CONDUIT IN ALL AREAS AND SLEEVED UNDER PAVING AND CONCRETE.
  3. ALL VALVES AND MAINLINE HAS TO BE INSTALLED IN LANDSCAPE AREA.
  4. PROVIDE 100% COVERAGE WITH 100% OVERLAP FOR ALL IRRIGATED AREA.
- SLEEVING:**
1. ALL MAINLINE, LATERAL LINE PIPING AND CONTROL CONDUIT UNDER PAVING AND CONCRETE SHALL BE INSTALLED IN SEPARATE SLEEVES.
  2. ALL SLEEVES SHALL BE A MINIMUM OF TWICE (2X) THE DIAMETER OF THE PIPE TO BE SLEEVED. NO SLEEVE SHALL BE SMALLER THAN 2 INCHES.

**IRRIGATION PLAN**  
**SCALE: 1/16" = 1'-0"**



**CONSULTING GABLES INC.**  
 PROFESSIONAL ENGINEER  
 C.A. No. 28292  
 11249 SW 34 LN  
 MIAMI, FL 33165  
 P: (786) 220-0083  
 services@consultingables.com

**SHEET DESCRIPTION:**  
 IRRIGATION PLAN  
 SCHEDULE & DETAILS

**SEAL:**

Damian Gonzalez PE.  
 PH: (305) 726-5669  
 P.E. No. 63910

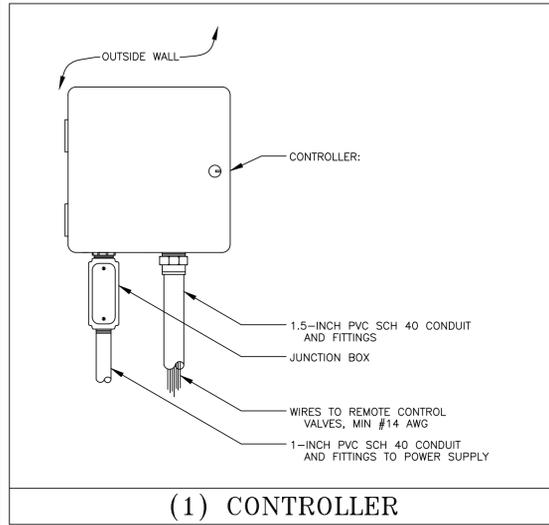
**SITE PLAN FOR:**  
 10405 NW 19TH STREET  
 DORAL, FL. 33172

**REVISIONS:**

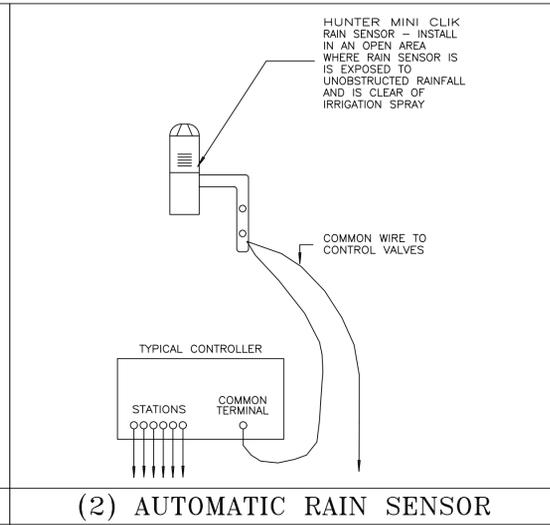
**DATE:** 12/03/2021  
**DRAWN BY:** Damian Gonzalez PE.  
**CHECKED BY:**

**SCALE:** SCALED AS SHOWN

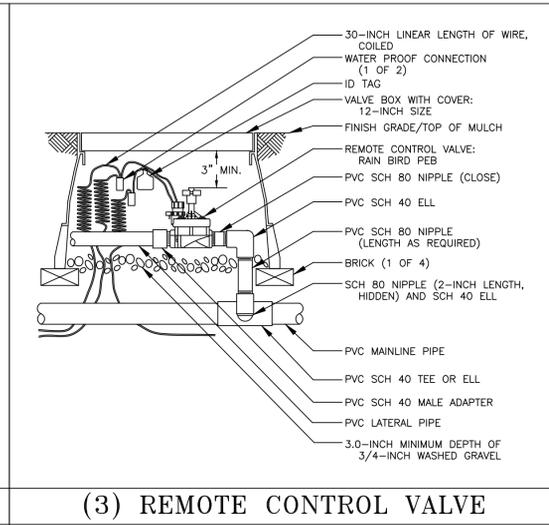
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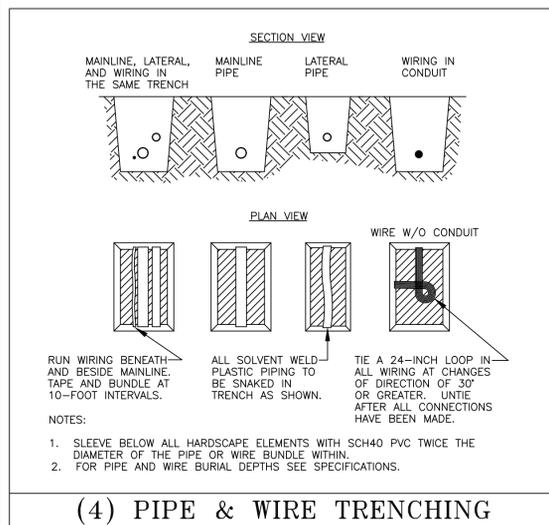
(1) CONTROLLER



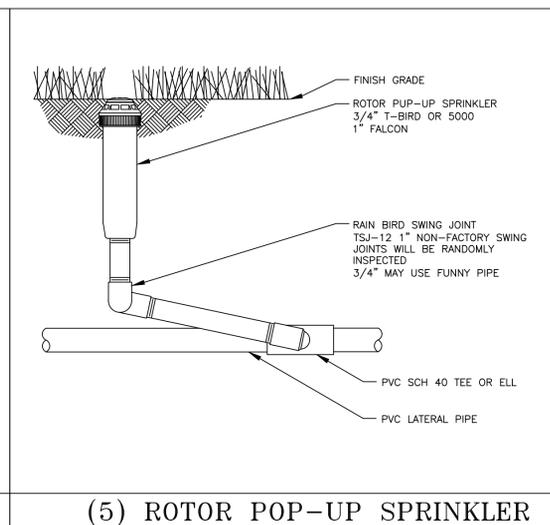
(2) AUTOMATIC RAIN SENSOR



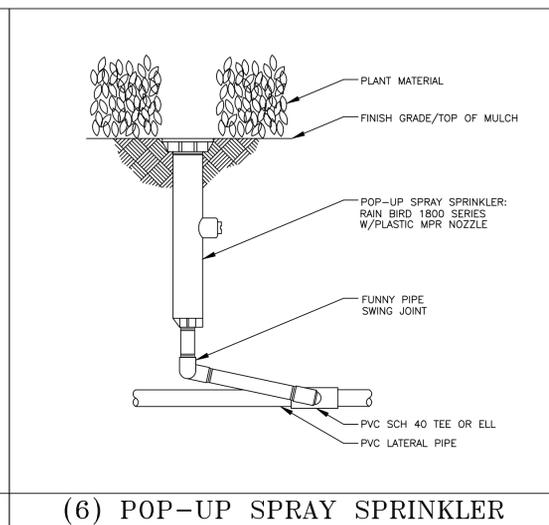
(3) REMOTE CONTROL VALVE



(4) PIPE & WIRE TRENCHING



(5) ROTOR POP-UP SPRINKLER



(6) POP-UP SPRAY SPRINKLER

CONTRACTOR MUST COMPLY WITH FLORIDA BUILDING CODE AMENDED APPENDIX F:  
NO PRODUCT SUBSTITUTIONS OR CHANGES WILL BE ALLOWED WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE OWNER AND THE IRRIGATION CONSULTANT.

GENERAL NOTES

- All mainline, lateral line and control wire conduit under paving shall be installed in separate sleeves. Sleeves shall be a minimum of twice (2X) the diameter of the pipe to be sleeved.
- Pipe sizes shall conform to those shown on the drawings. No substitutions of smaller pipe sizes shall be permitted, but substitutions of larger sizes may be approved. All damaged and rejected pipe shall be removed from the site at the time of said rejection.
- Install all backflow prevention devices and all piping between the point of connection and the backflow preventer as per local codes.
- Final location of the backflow preventer and automatic controller shall be approved by the owner's authorized representative.
- 120 VAC electrical power source at controller location shall be provided by others. The electrical contractor shall make the final connection from the electrical source to the controller.
- All sprinkler heads shall be set perpendicular to finish grade unless otherwise specified.
- The irrigation contractor shall flush and adjust all sprinkler heads and valves for optimum spray with minimal overspray onto walks, streets, walls, etc.
- This design is diagrammatic. All piping, valves, etc., shown within paved areas is for design clarification only and shall be installed in planting areas wherever possible. The contractor shall locate all valves in shrub areas where possible.
- It is the responsibility of the irrigation contractor to familiarize himself with all grade differences, location of walls, retaining walls, structures and utilities. The irrigation contractor shall repair or replace all items damaged by his work. He shall coordinate his work with other contractors for the location and installation of pipe sleeves through walls, under roadways and paving, etc.
- Do not willingly install the sprinkler system as shown on the drawings when it is obvious in the field that unknown obstructions, grade differences or differences in the area dimensions exist that might not have been considered in the engineering. Such obstructions or differences should be brought to the attention of the owner's authorized representative. In the event this notification is not performed, the irrigation contractor shall assume full responsibility for any revisions necessary.
- All sprinkler equipment not otherwise detailed or specified shall be installed as per manufacturer's recommendations and specifications.
- The irrigation contractor shall install check valves on all heads in areas where finish grade exceeds 4:1, where post valve shut-off draining, of the irrigation head occurs or as directed by the owner's authorized representative.
- The contractor shall provide 1800 PCS (pressure compensating screens) as necessary to reduce or eliminate overspray onto streets, walks or other areas as directed by the owner's authorized representative.
- All remote control valves, gate valves, quick couplers, control wire and computer cable pull points shall be installed in approved valves boxes with covers. All shall be marked indicating controller and station numbers for control valve boxes and/or titled in the equipment legend with 1" white heat braided letters.
- All control wires shall be installed in PVC conduit, min #14 AWG.
- Installer is required to conduct final testing and adjustment to achieve design specification prior to completion of the system and acceptance by the owner or owner's representative.
- Contractor to provide owner with post construction documentation, including as-built drawings, recommended maintenance schedules and activities, operational schedule, design precipitation rates, system adjusting methods for decreasing water once landscape is established, water source and shutoff method and all operational guides for controller.
- A map of the system shall be kept in a readily available location with details for operation.
- If the water supply for irrigation system is a well water, a constant pressure flow control device of pressure tank is required to minimize pump "cycling".
- Check valves must be installed at irrigation heads as needed to prevent low head drainage and puddling.
- Nozzle precipitation rates for all heads within each valve circuit must be matched to within 20% of one another.

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
EST LOS RCS CST SST	Rain Bird 1812 15 Strip Series Shrub Spray 12.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	20
Q T H F	Rain Bird 1812 10 Series MPR Shrub Spray 12.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	9
Q T H TQ F	Rain Bird 1812 12 Series MPR Shrub Spray 12.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	11
Q T H TQ F	Rain Bird 1812 15 Series MPR Shrub Spray 12.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	119

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
+	Rain Bird PEB 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.	6
BF	Watts U009 2" Reduced Pressure Backflow Preventer	1
C	Rain Bird TBOS2-CM6 and TBOS2-FTUS Battery-Operated Controller available in 4 models: 1, 2, 4, and 6 stations, with TBOS2-FTUS field transmitter.	1
R	Rain Bird RSD-CEX Rain Sensing Device, conduit mount. With threaded adapter, extension wire.	1
M	Water Meter 2" 2" Water Meter	1
---	Irrigation Lateral Line: PVC Class 160 SDR 26	2,156 l.f.
---	Irrigation Mainline: PVC Schedule 40	770.4 l.f.
---	Pipe Sleeve: PVC Schedule 40	220.0 l.f.



VALVE SCHEDULE NUMBER	MODEL	SIZE	TYPE	GPM	PSI	PSI @ POC	PRECIP
1	Rain Bird PEB	1-1/2"	Shrub Spray	47.69	30.67	46.03	1.06 in/h
2	Rain Bird PEB	1-1/2"	Shrub Spray	45.06	30.6	45.52	0.83 in/h
3	Rain Bird PEB	1-1/2"	Shrub Spray	18.22	30.99	45.06	0.82 in/h
4	Rain Bird PEB	1-1/2"	Shrub Spray	48.68	33.44	53.12	0.83 in/h
5	Rain Bird PEB	1-1/2"	Shrub Spray	47.18	32.37	56.57	0.82 in/h
6	Rain Bird PEB	1-1/2"	Shrub Spray	45.67	31.58	49.84	1.0 in/h

WATERING SCHEDULE NUMBER	MODEL	TYPE	PRECIP	IN/WEEK	MIN/WEEK	GAL/WEEK	GAL/DAY
1	Rain Bird PEB	Shrub Spray	1.06 in/h	1	57	2,718	906.1
2	Rain Bird PEB	Shrub Spray	0.83 in/h	1	73	3,289	1,096
3	Rain Bird PEB	Shrub Spray	0.82 in/h	1	73	1,330	443.4
4	Rain Bird PEB	Shrub Spray	0.83 in/h	1	73	3,554	1,185
5	Rain Bird PEB	Shrub Spray	0.82 in/h	1	73	3,444	1,148
6	Rain Bird PEB	Shrub Spray	1.0 in/h	1	61	2,786	928.6
TOTALS:					410	17,121	5,707

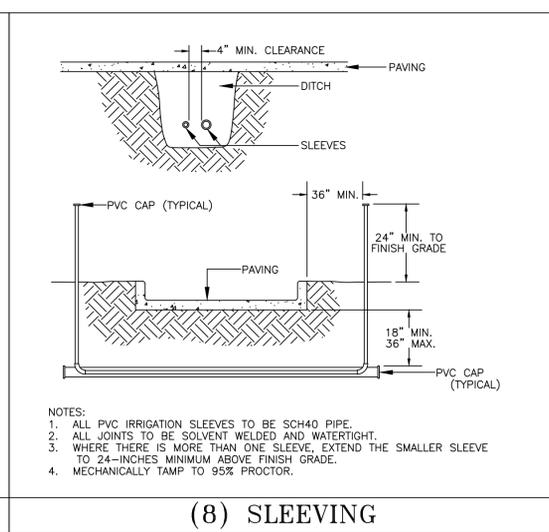
Depth of coverage per Florida Building Code amended appendix F

FOR NONTRAFFIC AND NONCULTIVATED AREAS:

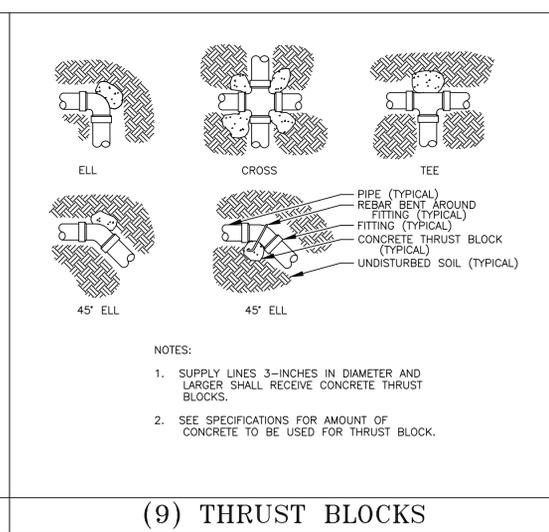
Pipe Diameter	Minimum depth of Cover
1/2" through 1 1/4"	6" - 12"
1 1/2" through 2"	12" - 18"
2 1/2" through 3"	18" - 24"
6" and larger	24" - 36"

FOR VEHICLE TRAFFIC AREAS:

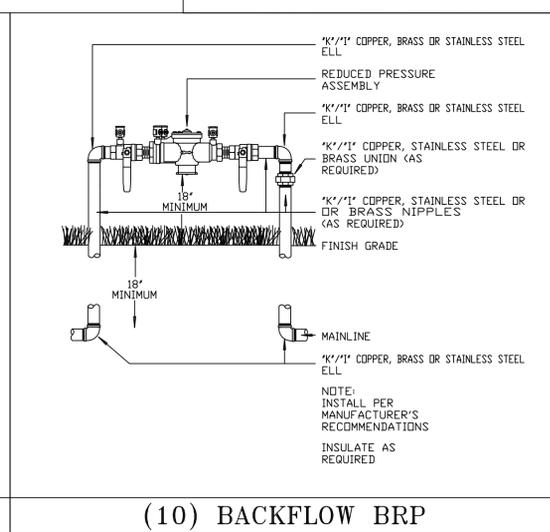
Pipe Diameter	Minimum depth of Cover
1/2" through 2 1/2"	18" - 24"
3" through 5"	24" - 30"
6" and larger	30" - 36"



(7) DEPTH OF COVERAGE



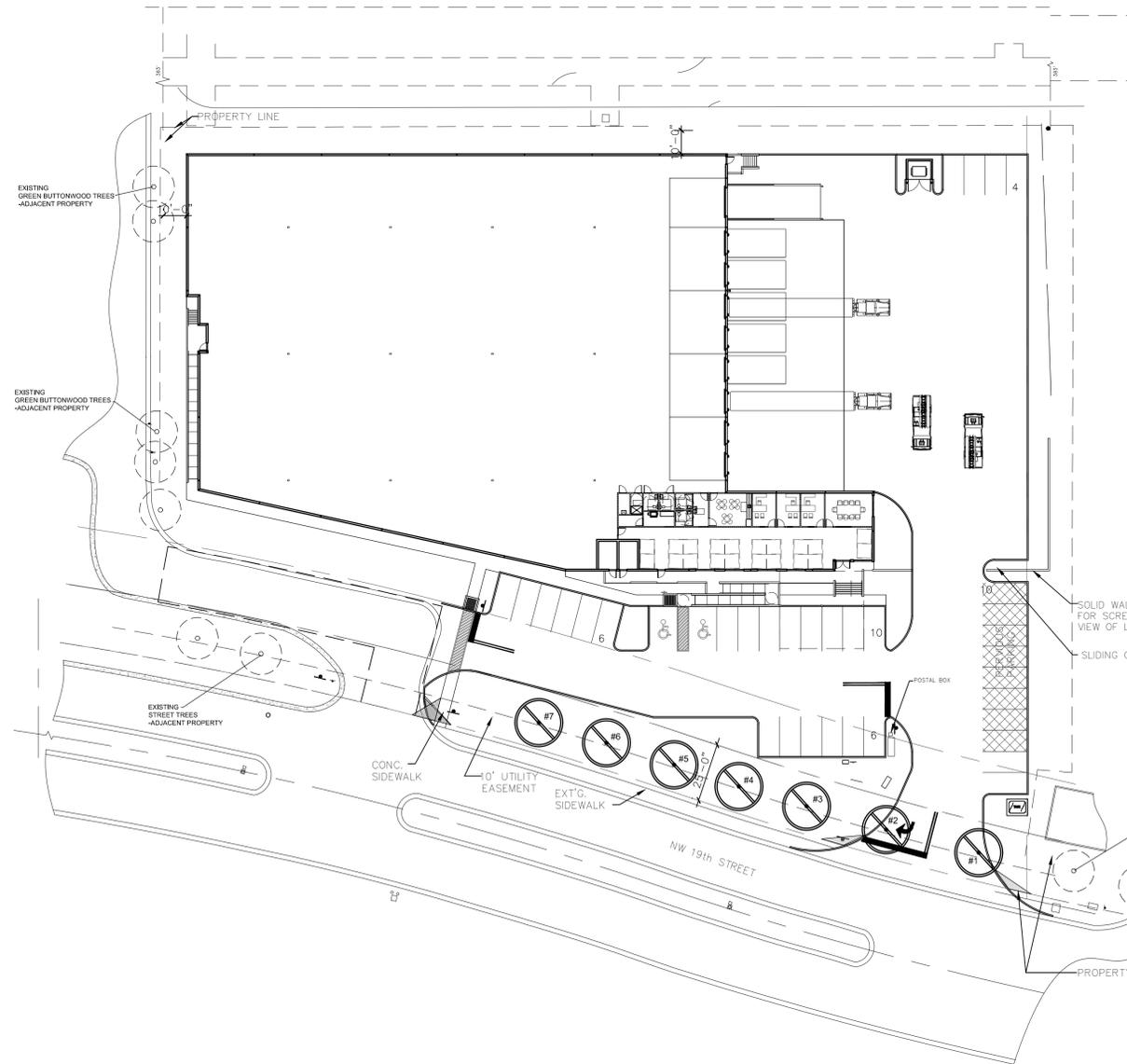
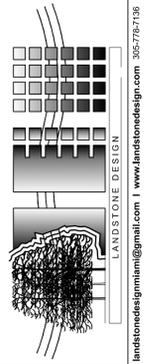
(8) SLEEVING



(9) THRUST BLOCKS



(10) BACKFLOW BRP



Tree Table: SEE SURVEY BY OTHERS FOR DETAILS.

Existing tree disposition Number	Common name/ Botanical	DBH(in)	HEIGHT(OA)	SPREAD(F)	CONDITION(%)	DISPOSITION	NOTES
1	MAHOGANY/ Swietenia mahogany	2.5	12	4	FAIR	TO BE REMOVED	
2	MAHOGANY/ Swietenia mahogany	2	13	6	FAIR	TO BE REMOVED	
3	GREEN BUTTWOOD TREE/ Conocarpus erectus	13	26	30	FAIR	TO BE REMOVED	
4	GREEN BUTTWOOD TREE/ Conocarpus erectus	7	15	12	FAIR	TO BE REMOVED	
5	MAHOGANY/ Swietenia mahogany	2	12	5	FAIR	TO BE REMOVED	
6	GREEN BUTTWOOD TREE/ Conocarpus erectus	9	18	20	FAIR	TO BE REMOVED	
7	MAHOGANY/ Swietenia mahogany	2.5	12	6	FAIR	TO BE REMOVED	

CONDITION: EXCELLENT=90-100%, GOOD=75-85%, FAIR=60-70%, POOR=40-50%, VERY POOR=10-35%

#2 TREE MITIGATION:

TOTAL AREA OF CANOPY PROPOSED FOR REMOVAL:

- #1 (13sf)
- #2 (28sf)
- #3 (707sf)
- #4 (113sf)
- #5 (29sf)
- #6 (314sf)
- #7 (28sf)

TOTAL CANOPY REMOVAL: 1,223 sf

REPLACEMENT MITIGATION: 1,300 sf  
500sf each / (2) TREES AT 12' o.a. ht. (PIGEON PLUM TREE)  
300sf each / (1) TREE AT 8' o.a. ht. (SPANISH STOPPER TREE)

TREE DISPOSITION LEGEND:

Existing TREE/PALM TO BE REMOVED.  
(Mitigated with Replacement Trees - Refer To Landscape Plan  
(Refer To Tree Survey/Disposition Plan List For Species and Canopy Sizes)  
Symbol may be enlarged to include more than one tree

NOTE: ALL DYING OR DEAD LANDSCAPING WILL BE REPLACED WITH THE SAME OR SIMILAR SPECIE BY THE PROPERTY OWNER WITHIN 60 DAYS OF PROBLEM IDENTIFICATION.

REVISIONS	DATE
#1 REV. PER SITE PLAN	3/23/22
#2 REV. PER MITIGATION/ CMNTS	6/8/22

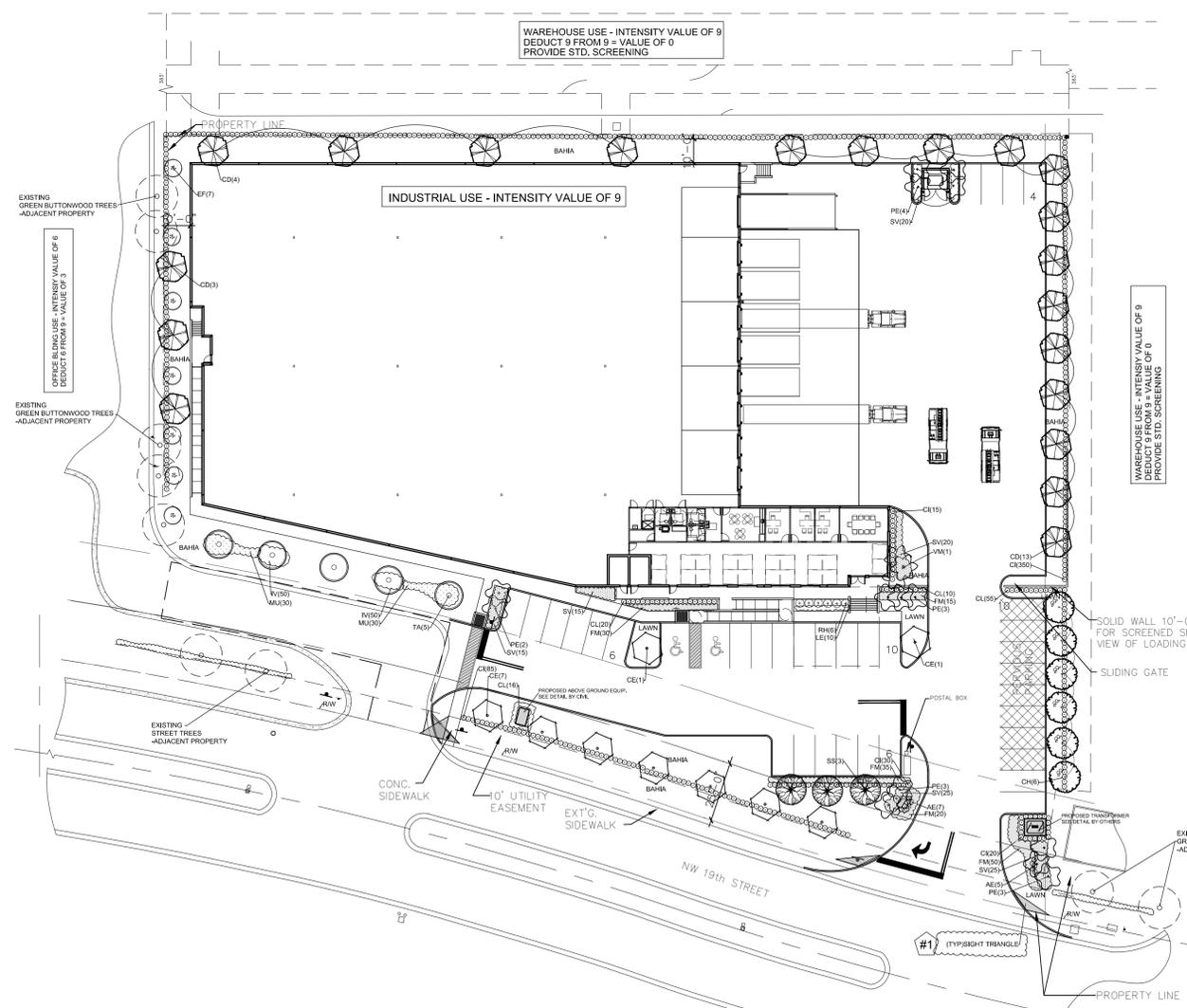
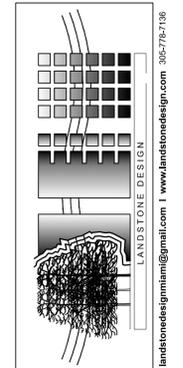
SITE PLAN FOR:  
**10405 NW 19th STREET**  
DORAL, FL. 33172

DERICK LANGEL  
LANDSCAPE ARCHITECT  
FL LICENSE #LA6667045

DATE  
12-3-2021  
SCALE  
SCALE: 1/32" = 1'-0"  
SHEET

**L-1**  
TREE DISPOSITION





**PLANT LIST:**

QTY.	KEY	BOTANICAL/COMMON NAME	DESCRIPTION
#2 20	CD (MT) # * * A	Coccoloba diversifolia PIGEON PLUM	12' ht x 5' spr., 2.5' cal. f.g.
#2 8	CE # * * A	Conocarpus erectus GREEN BUTTWOOD	14' ht x 5' spr., 4" cal. f.g.
#1 6	CH # * * A	Chrysobalanus icaco SATINLEAF	12' ht x 5' spr., 2.5' cal. f.g.
#1 7	EF (MT) # * * A	Eugenia foetida SPANISH STOPPER	8' ht x 4' spr. f.g.
15	PE # * * *	Phycosperma elegans ALEXANDER PALM	15' ht. min. 8' cl. min single trk. f.g.
#2 3	SS # * * *	Senna surattensis GLAUCCOUS CASSIA	12' ht x 5' spr., 2.5' cal. f.g.
#2 5	TA # * * A	Taxodium distichum BALD CYPRESS	12' ht x 5' spr., 2.5' cal. f.g.
1	VM # * * *	Veitchia montgomeryana MONTGOMERY PALM	18' o.a. ht. triple trk. matched trs., f.g.
12	AE **	Aechmea blanchetiana 'Orange' ORANGE BROMELIAD	24" ht x 24" spr. 3 gal.
500	CI **	Chrysobalanus icaco RED TIP COCOPLUM	24" ht x 24" spr. 2" o.c., 3 gal.
#2 85	CL ** A	Clusia rosea CLUSIA HEDGE	30" ht x 24" spr. 7 gal.
150	FM **	Ficus microcarpa GREEN ISLAND FIGUS	18" ht x 18" spr. 3 gal.
#1 100	IV ** A	Inta virginica BLUE FLAG IRIS	10-12" ht x 12" spr. 1 gal.
#2 60	MU ** A	Muhlenbergia capillaris PINK MURPHY GRASS	12-14" ht x 18" spr. 1 gal.
10	LE **	Liriodendron 'Evergreen Giant' GREEN LIRIOD.	18" ht x 18" spr. 3 gal.
6	RH **	Raphidophora arifolia LADY PALM	3-4' ht. F 7 gal.
120	SV **	Scaevola arborescens 'Trinette' VAR. SCHEFFLERA	24" ht x 24" spr. 3 gal.
#1	As Req. LAWN As Req. BAHIA As Req. PEG3	St. Augustine 'Floristan' Paspalum notatum	solid even sod solid even sod

NOTE: SEE INTERNATIONAL CORPORATE PARK RULES FOR LANDSCAPE/ MAINTENANCE.

NOTE: ALL DYING OR DEAD LANDSCAPING WILL BE REPLACED WITH THE SAME OR SIMILAR SPECIE BY THE PROPERTY OWNER WITHIN 60 DAYS OF PROBLEM IDENTIFICATION.

A MINIMUM OF 20 PERCENT OF ALL REQUIRED SURFACE PARKING MUST BE CONSTRUCTED USING PERVIOUS OR HEAT-REFLECTIVE MATERIAL WITH A SOLAR REFLECTIVE INDEX (SRI) NOT EXCEEDING 28 WITH PERVIOUS PAVEMENT.

WEST BUFFERYARD DESIGN TYPE 3	REQ.	PROV.
150 linear feet		
Bufferyard width	20	10
Shade trees: 4 trees / 100 linear feet	6	6
Understory trees: 4 trees / 100 linear feet	6	6
Shrubs: 40 shrubs / 100 linear feet	60	60

**LANDSCAPE LEGEND** Information Required to be Permanently Affixed to Plan  
Zoning District: I-Industrial District Net Lot Area 100,869 s.f.

OPEN SPACE	REQUIRED	PROVIDED
A. Square Feet of open space required by Chapter 33, as indicated on site plan: Net lot area = 100,869 s.f. x .15 % = 15,130 s.f.	15,130	19,310
B. Square Feet of parking lot open space required by Chapter 18A, as indicated on site plan: No. parking spaces 36 x 10 s.f. per parking spaces =	360	360
C. Total s.f. of landscaped open space required by Chapter 33: A + B =	15,490	19,670

**LAWN AREA CALCULATION**

A. 15,490 total s.f. of landscaped open space required by Chapter 33	15,490	19,670
B. Maximum lawn area (sod) permitted = .60 % x 15,490 s.f. =	9,294	9,000

**TREES**

A. No. trees required per net lot acre  
Less existing number of trees meeting minimum requirements = 15 trees x net lot acres (2.31 Acres) = 35

B. % Palms Allowed: No. trees required x 30% = 11  
% Palms permitted to count as street trees 1:1 basis x 30% = 8

C. % Natives Required: No. trees provided x 50% = 18  
D. Street trees (maximum average spacing of 35' o.c.):  
268 linear feet along street / 35 = 7

E. Street trees located directly beneath power lines (maximum average spacing of 25' o.c.):  
N/A linear feet along street / 25 = N/A

F. Total Trees Required  
A + D + E = 42 Total Trees

**SHRUBS**

A. No. shrubs required x 10 = No. of shrubs allowed = 420

B. No. shrubs allowed x 50% = No. of native shrubs required = 210

IRRIGATION PLAN: If required by Chapter 33  
TABLE: Containing information as indicated in sample below. SEE LANDSCAPE LIST ON THIS PLAN

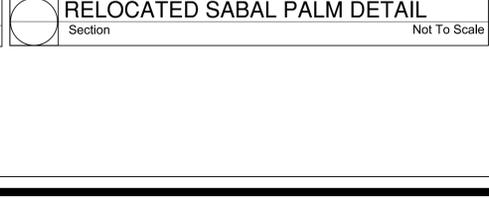
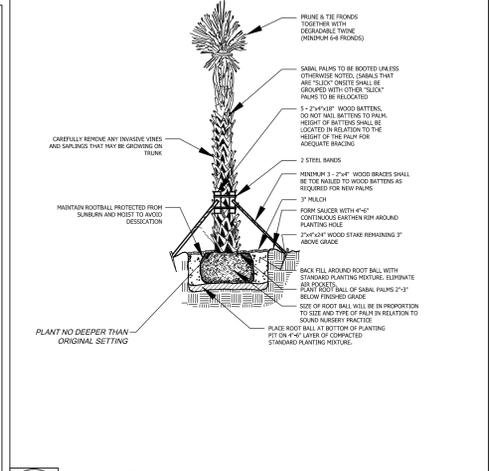
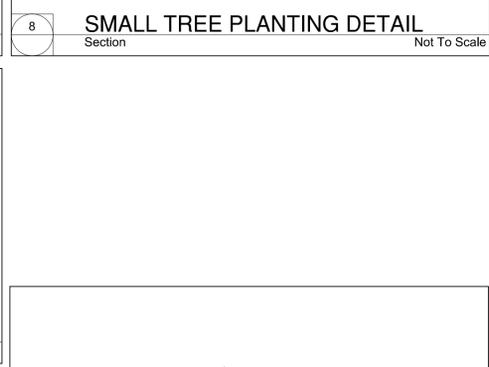
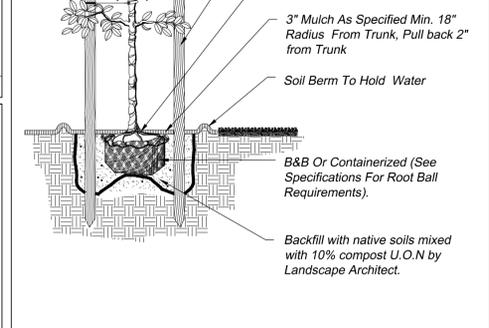
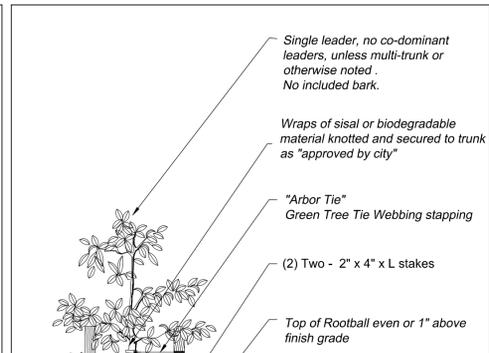
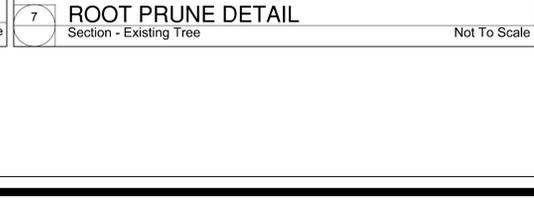
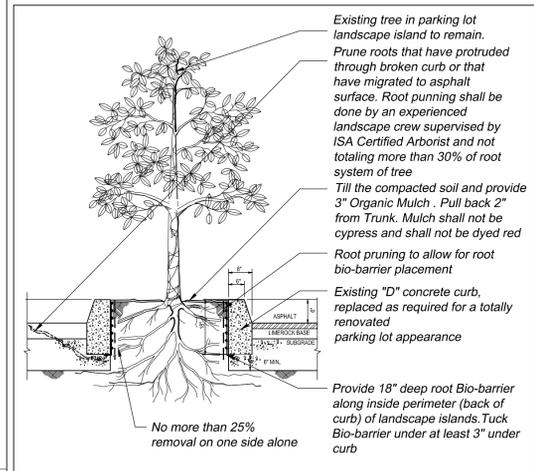
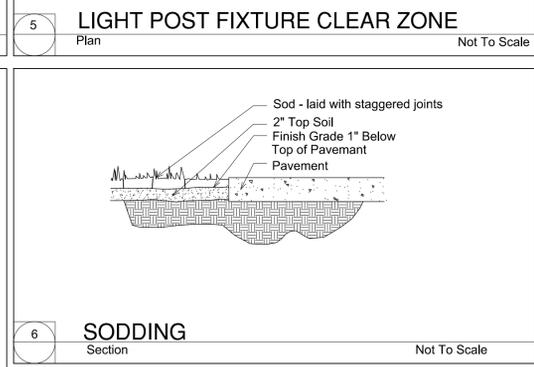
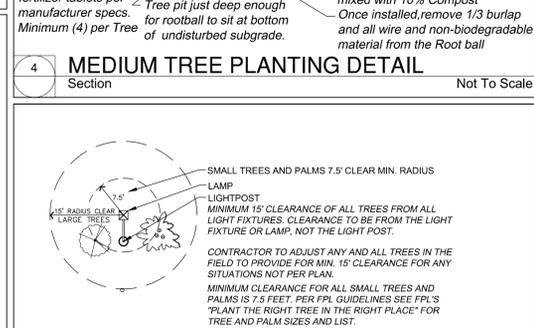
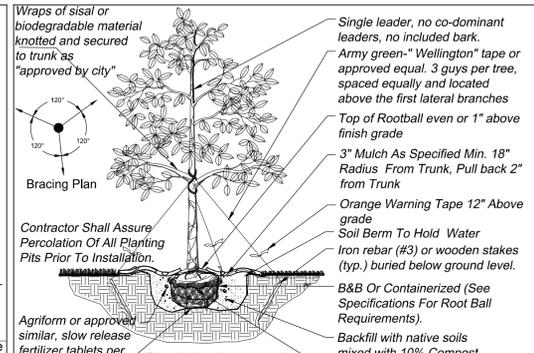
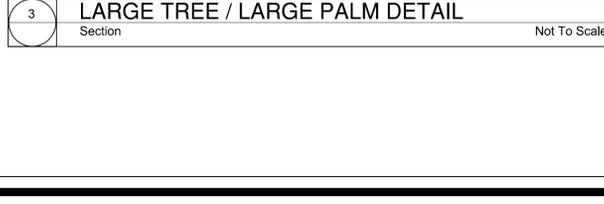
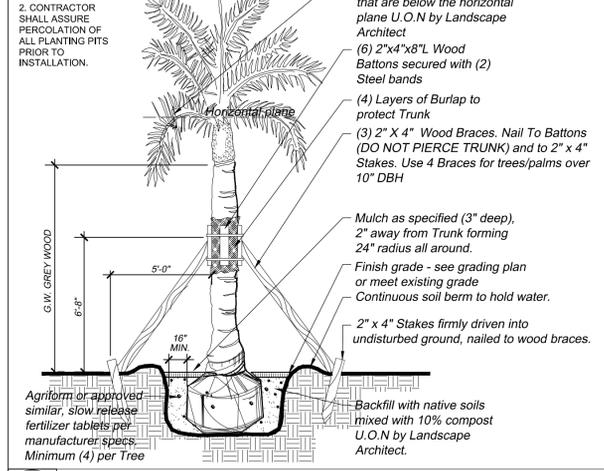
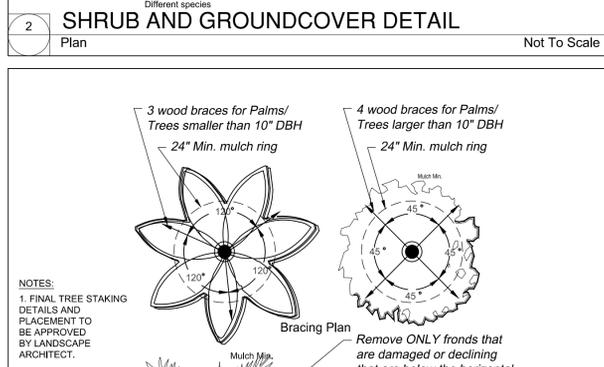
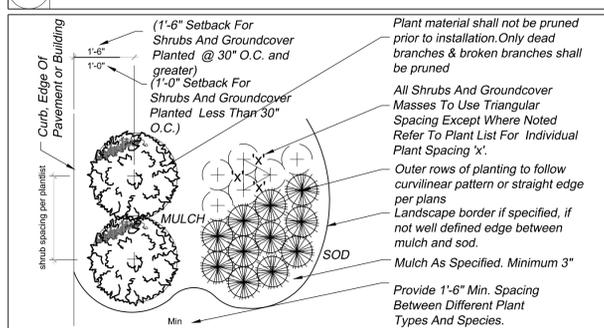
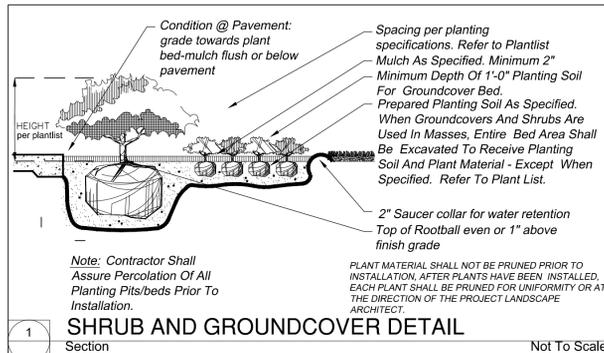
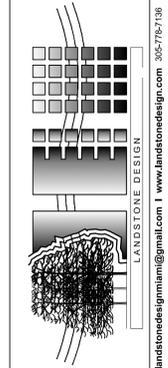
REVISIONS	DATE
#1 REV. PER SITE PLAN CMNTS	3/23/22
#2 REV. PER MITIGATION CMNTS	6/8/22

SITE PLAN FOR:  
**10405 NW 19th STREET**  
DORAL, FL. 33172

DERICK LANGE  
LANDSCAPE ARCHITECT  
FL LICENSE #LA6867045

DATE  
12-3-2021  
SCALE  
SCALE: 1/32" = 1'-0"  
SHEET

**L-2**  
LANDSCAPE PLAN



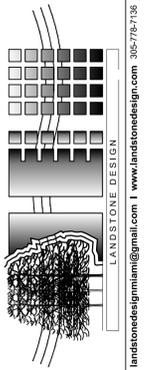
REVISIONS	DATE

SITE PLAN FOR:  
10405 NW 19th STREET  
DORAL, FL 33172

DERICK LANGEL  
LANDSCAPE ARCHITECT  
FL LICENSE #LARB67045

DATE  
12-3-2021  
SCALE  
SCALE: N.T.S.  
SHEET

L-3  
PLANTING DETAILS



LANDSTONE DESIGN  
landstonedesign@gmail.com | www.landstonedesign.com | 305-778-7139

**GENERAL LANDSCAPE NOTES:**

- A. SCOPE**
- The locations of plants, as shown in these plans, are approximate. The final locations may be adjusted slightly to accommodate unforeseen field conditions. All other location adjustments to the layout are to be approved in advance in writing by the Landscape Architect and owner.
- B. BIDDING**
- See typical planting details sheet for additional planting details and notes.
  - Landscape contractor shall verify all estimated quantities of material shown on the drawings prior to submitting his bid. Planting plan to take precedence over plant list.
  - Pre-inspections of site required prior to bidding.
  - The plant list is intended only as an aid to bidding. Any discrepancies found between the quantities on the plan and plant list the quantities on the plan shall be held valid.
  - All labor and material for soil amendments and fertilizer that is required to insure the successful establishment and survival of the proposed vegetation, as well as all the cost for the removal of unsuitable or excess backfill material, shall be included in the contractor's bid to perform the work represented in this plan set.
  - Bid shall be itemized for possible value engineering.
  - Sod shall include price per square foot.
- C. GENERAL LANDSCAPE NOTES**
- All landscaping shall be installed according to sound nursery practices. Plants grown in containers prior to installation shall be removed from their containers before they are planted in the ground. A layer of mulch to a minimum depth of three inches shall be installed in plant beds and around individual trees in turf areas.
  - All screening shrubs shall be planted for proper operation of equipment being screened and/or per the requirements of the utility as necessary. All hedge material required for screening purposes shall be planted with branches touching. Adjust spacing as necessary and/or provide additional plants to provide an adequate screen.
  - All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of LANDSTONE DESIGN and may not be duplicated without authorization or used for other projects than the intended.
  - Where there is a discrepancy either in quantities, plant names or specifications between the plan & or plant list, the plan takes precedence.
  - The Landscape Contractor shall exercise caution to protect all existing sod, electrical and irrigation. Any damage to the sod, electrical or irrigation shall be replaced or repaired to the original state by the Landscape Contractor at no additional cost to the owner.
  - Tree, palm, accent and bed lines are to be located in the field and approved by the Landscape Architect / owner prior to installation.
  - All trees must be pruned as per landscape architect's direction.
- D. PERMITS & REGULATIONS**
- Contractor(s) must obtain separate landscape, irrigation & tree relocation/removal permits from the city prior to the issuance of the first building permit for the project.
  - Landscape contractor to call the city Landscape Inspector to schedule a pre-construction meeting prior to installation if required.
- E. TREE REMOVAL**
- Removal of any trees or palms will require a written "tree removal permit" from the governing agency prior to removal. Non-native trees classified as "prohibited" trees may be exempt from the permit.
- F. EXISTING TREES & RELOCATION**
- Existing trees designated to remain shall be protected during all construction phases. Any trees or shrubs scarred or destroyed designated to remain will be replaced at the contractor's expense, with same species, size and quality.
  - Existing plant material not shown on the plan and in conflict with new planting shall be evaluated at the time of new planting installation by the Landscape Architect. Trees & plant material indicated to be relocated with no new location provided in plans shall be moved to a location on site designated as a nursery holding area with the root ball protected from direct sunlight, maintained and irrigated until new location is determined.
  - Prune trees to remove damaged branches, improve natural shape and thin out structure. Do not remove more than 15% of branches. Do not prune back terminal leader.
  - Prune existing shrubs to remove damaged branches & improve natural shape.
  - Existing trees to remain shall be trimmed per ANSI-A300 standards. Supervision of the trimming shall be performed by an ISA Certified Arborist to insure quality work.
  - All existing trees shall be "tipped and thinned" to provide an 8' minimum clearance for sidewalks and pedestrian walkways and a 14' minimum clearance for roadways, driveways and all vehicular use areas.
  - Prune trees as required / Indicated in walk-through to provide sunlight filtering.
  - The plans call for relocation of several plants. High level of care should be exercised to assure that plants are not damaged or traumatized in the process and that they are promptly replanted upon being dug up.
- G. SITE PREPARATION & GRADING**
- Landscape contractor shall loosen & till compacted soils in entire planting areas of the project to provide for proper soil aeration for plant establishment.
  - Planted areas shall be cleared of underground rocks, construction debris and other materials detrimental to the health of the plants. Lime rock base material shall be removed within planting pits and adjacent to pavement. Plant area soils shall be tested for pH before planting. Soils showing high (alkaline) pH (over 7.5) shall be removed and replaced with native soil having a pH range of 6.5 - 7.5, or modified as approved by Landscape Architect.
  - Site preparation shall include the eradication & removal of any weeds, clean-up of any dead material, debris, and rubbish.
  - General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the Landscape Contractor.
  - All planting beds shall be free of all rocks 1/2" or larger, sticks, and objectionable material including weeds, weed seeds. All lime rock shall be removed/cleaned down to the native soils.
  - The Landscape contractor shall ensure the planting areas are at finish grade prior to installing plant materials. Grade shall be per plans, if not indicated, in any event drainage shall be directed away

- from structures U.O.N.
- Site preparation shall include the eradication and removal of any weeds, clean-up of any dead material and finish grading as per the specs.
  - All trees and plant material to remain shall be protected during construction. Contractor shall install protective barriers such as "Tenax" orange safety fencing or similar, to be installed before the beginning of the project. Barriers shall be located to include the drip line of the trees, palms and plant material. The contractor shall take extra caution to prevent any damage to the trunk, root zones and grade.
  - Final grade within planting areas to be 2" below adjacent paved areas or top of curb.
  - All planting beds shall be shaped and sloped to provide proper drainage.
- H. IRRIGATION**
- The Landscape Contractor shall coordinate with the irrigation contractor that not the same and leave provisions for all individual trees in turf areas and all planting beds.
  - Landscape contractor to retro-fit automatic lawn irrigation system guaranteeing 100% coverage & maintain a 50% min. overlap to all landscaped areas. There shall be no over spray onto sidewalks.
  - The contractor shall ensure that the irrigation system is operational and free of leaks prior to any planting. Plant material that is installed prior to the irrigation system being operational shall be watered by the contractor at his expense. Water for plant establishment should be included in the cost of the plant.
  - All guidelines as outlined by the South Florida Water Management District (SFWMD) or water management district with jurisdiction shall be strictly adhered to.
  - Existing irrigation system shall be retrofitted to comply with those specifications as outlined above.
- I. HARDSCAPE & OTHER MATERIALS**
- Face of trees and palms to be located a minimum of 2' -0" setback from all walkways, walls, and paved surfaces, unless otherwise indicated on the plans.
- J. UTILITIES/CLEARANCES**
- The contractor shall be responsible for determining the location of and avoid and protect utility lines, buried cables, and other utilities.
  - Trees shall be placed a minimum of 5' from underground utilities, unless otherwise approved in writing by Landscape architect and Owner.
  - All shade trees to be planted min. of 15' from light poles. Unless otherwise approved in writing by Landscape architect and Owner.
  - Landscape contractor shall contact the county, city and/or utility companies to locate all underground utilities or structures prior to digging. Landscape contractor shall repair all damage to underground utilities, and/or construction caused by utility damage, at no cost to the owner.
  - All plant material symbols shown on landscape plan shall be considered diagrammatic and should be adjusted in the field by contractor to avoid all utilities, and all other obstructions.
  - 1/2" When digging in right of way needed: two (2) full business days before digging, call toll free 1-800-432-4770, or 811, Sunshine State One Call of Florida, Inc. Notification Center. In addition, call the City's Utilities/Public Works Department. Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation. All existing utilities shown on the plans are to be considered approximate and should be verified by the contractor prior to the start of work operations.
  - Above & below ground utilities shall be verified & located in the field by the contractor prior to commencing work in the project area. The contractor shall examine available utility plans & confirm conflicts between indicated or located utilities & landscape work. The contractor shall then notify the Project Engineer of said conflicts & the Engineer will coordinate any necessary adjustments with the utility provider. Tree locations will be adjusted as necessary when in conflict with existing utilities.
  - The final plant locations may be adjusted, as approved / directed by the Landscape Architect in writing, to accommodate utilities compliance. Excavations within 5' of known utilities should be done by hand.
  - Contractor shall familiarize himself with the location of and avoid and protect utility lines, buried cables, and all other utilities, noted or not, on plans.
  - Root barriers shall be installed where required by local utility company or other regulating agencies.
  - If / clearance and access shall be provided around all above ground / or at grade meters and equipment.
  - Landscape planting shall be in conformance with FPL guidelines for setbacks from overhead utility lines.
  - Landscaping shall not interfere with light poles, fire hydrants, electrical/mechanical equipment access, signs, drainage structures, etc. Bring the attention of Landscape Architect any conflicts.
- K. LANDSCAPE BACKFILL & SOIL AMENDMENT**
- 6" top soil required around & beneath all root ball.
  - All building construction material and foreign material shall be removed from the planting areas and void replaced with 50/50 mix fill soil or as per specifications on plans.
  - Planting soil mix shall be delivered to the site in a clean loose and friable condition and is required around the root ball of all trees and palms, the top 6" of all shrubs and ground cover beds and top 2" of all sodded areas. This soil shall be filled into the existing soil after the existing soil has been cleaned of all rocks, limestone and sticks. Recycled compost is encouraged as a soil amendment alternative.
  - Planting soil to be weed free.
- Groundcover planting beds: 6" depth planting soil spread in place - throughout.
- Shrub and hedge planting areas: 12" depth planting soil spread in place - throughout.
- Trees, palms, specimen plant material: 30" depth planting soil spread in place - or - to the depth of the root ball and container, whichever is greatest, throughout.
- Building foundations shall be the same for a width of 36" from the building base.
- Do not allow air pockets to form when backfilling. All trees shall be spiked in utilizing water and a tree bar.

- L. PLANT SIZE & QUALITY**
- Plant material shall conform to the standards for grade # 1 or better as given in the latest grades and standards for nursery plants, parts I and II by the Florida Department of Agriculture and consumer services or to the standards as given in the latest American Standard for Nursery Stock by the American National Standards Institute.
  - All perimeter hedge material shall meet the minimum specified heights at the time of planting.
  - All plant material must meet or exceed the minimum size requirements as specified on the plant list. Height specification governs over container size spread if both specifications given and cannot be met.
  - All sizes shown for plant material on the plan are to be considered minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan shall also be required for acceptance. All trees to be single trunked, unless otherwise noted on the plans.
  - All trees designated as single trunk shall have a single, relatively straight, dominant leader, proper structural branching and even branch distribution. Trunks on palms shall be uniform in thickness for the entire length of the palm and shall not taper off to disproportionate thinness towards the crown. Trees with bark inclusion, tipped branches, and co-dominant trunks will not be accepted. Trees with girdling, circling and/or plunging roots will be rejected.
  - Use nursery grown plant materials that complies with all required inspection, grading and plant regulations in accordance with the latest edition of Florida Department of Agriculture, "Grade & Standards for Nursery Plants".
  - All plant material must meet or exceed the minimum size requirements as specified on the plant list.
  - All substitutions must be approved by the Architect and Owner.
  - Trees, palms, shrubs, ground covers: Plant species and sizes shall conform to those indicated on the drawings. All nursery stock shall be in accordance with grades and standards for nursery plants parts I & 2 latest edition published by the Florida Department of Agriculture and Consumer Services, unless specified otherwise. All plants shall be Florida grade number 1 or better as determined by the Florida Division of Plant Industry and tightly knit plant, so trained or favored in its development that first appearance is unquestionable and it is outstandingly superior in form, number of branches, compactness and symmetry. All plants shall be freshly dug, sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae and shall have adequate root systems. Trees and palms shall be uniform in size and shape. All materials shall be subject to approval by the landscape architect. The plants furnished shall be normal for the variety and Florida number 1. Plants shall be pruned prior to delivery only upon the approval of the Landscape Architect.
  - All containers grown material shall be healthy, vigorous, well-rooted plants and established in the container in which they are sold. The plants shall have tops of good quality and be in a healthy growing condition. An established container grown plant shall be transplanted into a container and grown in that container sufficiently long enough for the new fibrous roots to have developed so that the root mass will retain its shape and hold together when removed from the container.
  - Field grown trees and palms previously root pruned shall obtain a root ball with sufficient roots for continued growth without requiring shock.
  - Root suckers on any tree are not acceptable and must be properly pruned.
  - Contractor shall coordinate with Landscape Architect and Owner to obtain prior approval for the selection of the specific specimens of all palms and any trees of more than 6 feet in height.
- M. PLANTING NOTES**
- All synthetic burlap, synthetic string or cords, or wire baskets shall be removed before any trees are planted. All synthetic tape (i.e. tagging tape, nursery tape) shall be removed from trunks, branches, etc. before inspection. The top 1/3 of any natural burlap shall be removed or tucked into the planting hole before the trees are back filled.
  - All "groundcover" requires 75% coverage and 100% within 3 months of installation. Bring to the attention of Landscape Architect in writing before commencing if this is not achievable with the design.
  - Set trees no deeper than it was in its original growing condition with the top of the root ball even with, or slightly higher (+/- 1") than the finished grade.
  - All burlap, string, cords, wire baskets, plastic or metal containers shall be removed from the root balls before planting. Remove all bamboo and metal nursery stakes. Remove all tagging tape.
  - All trees/palms shall be planted so the top of the root ball, root fir are slightly above final grade. Shrub material shall be planted such that the top of the plant ball is flush with the surrounding grade.
  - All trees and palms shall be staked per accepted standards by the Florida Nurserymen & Growers Association (FNGA) Nailing into trees and palms for any reason is prohibited and the material will be rejected. Please refer to the planting details.
  - The location of plants, as shown on the plans, is approximate. The final locations may be adjusted slightly to accommodate unforeseen field conditions, to comply with safety setback criteria, to avoid creating unsafe sight conditions, or as otherwise directed or approved by the Landscape Architect / owner in writing. All other location adjustments to the layout are to be approved in advance in writing by the Landscape Architect and owner.
  - All trees, new or relocated, to be staked and guyed as detailed.
  - Layout shrubs to create a continuous smooth front line and fill in behind.
  - Excavate pit or trench to 1-1/2 times the diameter of the balls or containers or 1"-0" wider than the spread of roots and 3" deeper than required for positioning at proper height. Compact a layer of topsoil in bottom before placing plants. Backfill around plants with planting mixture, compacted to eliminate voids and air pockets. Form grade slightly dish and bermed at edges of excavation. Apply 3" mulch.
  - Groundcover and shrubs to be spaced in a uniform and consistent pattern.
  - All mechanical equipment, irrigation pumps, FPL transformers, pool pumps, etc. shall be screened on a minimum of three sides by landscape shrubs.
  - Contractor shall not mark or scar trunks in any fashion.
- N. SOD**
- All areas disturbed during construction shall be sodded with St. Augustine "Floratum" unless otherwise noted. Landscape Contractor to supply & install 2" soil layer 50/50 mix blanket for all new sod areas.

- All open areas not covered by trees, palms, shrubs, vines, ground covers or existing sod in good condition to remain, shall receive Stenotaphrum Secundatum, St. Augustine 'Palmetto' sod, whether labeled on the plans or not, unless a different species is indicated on the planting plan. All s.f. if noted shall be approximate; it is the contractor's responsibility to do his or her take off and sod all open areas. It shall be the responsibility of the contractor to include in the bid, the repair of any existing sod which may be damaged during construction.
  - Sod shall be of the species indicated on the plans (St. Augustine "Floratum" if not indicated, strongly rooted, free from weed, fungus, insects and disease. Contractor shall sod all areas as indicated on the plans or as directed. Contractor shall be paid by the total sodded area x the unit price submitted (field verified).
  - Sod type specified on plant list shall be machine stripped no more than 24 hours prior to laying.
  - Lay sod strips with tight joints, do not overlap, stagger strips to offset joints in adjacent courses. Work sifted soil mix into minor cracks between pieces of sod and remove excess soil deposits from sodded areas. Sod on slopes greater than 3:1 shall be immediately staked after planting.
- O. INSPECTION & ACCEPTANCE**
- A mandatory inspection of the planting bed layout is required before planting.
  - Onsite plant deliveries shall occur on Monday through Friday only unless otherwise directed by the Landscape Architect. The contractor shall ensure that plant material is delivered undamaged from transportation or digging operations. The Landscape Architect may reject material that has been damaged or rendered unacceptable due to relocation or transportation from the point of origin. All plant material shall be available for inspection & approval by the Landscape Architect prior to final installation.
  - There shall be one final inspection for approval by each of the preceding governing agency, Landscape Architect and owner. Contractor shall insure that the plans, details, specifications and notes have been adhered to and that the landscape and irrigation installation is compliant to all items as directed on the plans prior to scheduling of the final inspection.
  - Upon completion of the work, the Landscape Contractor shall notify the Landscape Architect and request a final inspection. Any items that are judged incomplete or unacceptable by the Landscape Architect or owner shall be promptly corrected by the Landscape Contractor.
  - No substitution of plant material, type or sizes will be permitted without prior written authorization from the Landscape Architect and owner.
  - To obtain final payment, Contractor must provide release of all mechanic's liens and material men's liens.
- P. FERTILIZING**
- All landscape materials shall be fertilized upon installation. See details sheet.
  - Fertilizer in backfill mixture for all plants shall consist of Milorganite activated sludge mixed with the backfill at a rate of not less than 50 lbs. per cubic yard.
  - Fertilizer for trees and shrubs may be tablet form or granular. Granular fertilizer shall be uniform in composition, dry and free-flowing. This fertilizer shall be delivered to the site in the original unopened bags, each bearing the manufacturer's statement of analysis, and shall meet the following minimum requirements: 16% nitrogen, 7% phosphorus, 12% potassium, plus iron. Tablet fertilizer (agrimon or equal) in 21 gram size shall be applied at the following rates:
- | Plant size agriform tablets (21 grams) | 16-7-12                          |
|--|----------------------------------|
| 1 gal.                                 | 1/4 lb.                          |
| 3 gal.                                 | 1/2 lb.                          |
| 7-15 gal.                              | 1 lb.                            |
| 2 per 1" caliper                       | 1"-6" caliper 2 lbs. /1" caliper |
| 2 per 1" caliper                       | 6" and larger 3 lbs. /1" caliper |
- "Florida east coast palm special" shall be applied to all palms at installation at a rate of 1/2 lb. per inch of trunk unless otherwise specified.

- R. WATERING**
- All plant material shall be watered in thoroughly at the time of planting.
  - It is the sole responsibility of the Landscape Contractor to insure that all new plantings receive adequate water during the installation and until completion of contract. Daily watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided by Contractor as part of this contract.
- S. CLEAN UP**
- The Landscape Contractor is responsible for maintaining all landscape planting areas until final acceptance of the owner.
  - The contractor is responsible for mowing the entire project during planting & establishment periods, based on mowing project once a month from October to April, & twice a month from April to October.
  - Any excess soil, undesired stones or debris resulting from landscape operations shall be removed promptly, keeping the site clean as work progresses.
  - The Landscape Contractor shall at all times keep the premises free of accumulation of waste materials or debris caused by his crews during the performance of the work. Upon completion of the work, the contractor shall promptly remove all waste materials, debris, unused plant material, empty plant containers, and all equipment from the project site.
- T. MAINTENANCE**
- Landscape Contractor to return to job site 12 months after tree bracing and remove all tree braces. Owner may choose to retain 5% of payment to ensure compliance.
  - The Landscape Contractor shall water, mulch, weed, prune, and otherwise maintain all plants, including sod, until completion of contract or acceptance by landscape architect. Settled plants shall be reset to proper grade, planting spacers restored, and defective work corrected.
  - Trees and shrubs shall be maintained to keep clearance of stop signs, safety clearance for visibility at intersection traffic.
- U. GUARANTEE & REPLACEMENT**
- By accepting the contract, the Contractor is thereby guaranteeing all plant materials and workmanship for a period of not less than (12) months from the time of final acceptance by the owner. Contractor shall replace any plants which die or wither within such 180 days with healthy plants that meet specifications of the same species and size without additional cost to the owner unless such death or withering is due to Owner's failure to do ordinary maintenance on such plants after final acceptance in accordance with any maintenance instructions given by Landscape Architect for such plants. Such replacement shall include all plants and labor to plant the replacement plants. Any plant materials damaged by lightning, storms, freeze damage or other "acts of God" as well plants damaged by vehicles, vandalism or neglect are not included in this replacement agreement. If requested, the Landscape Architect may act as a mediator between owner and Landscape Contractor on a time material basis. "Plants" includes all trees, palms, shrubs, and other plants provided or planted by Contractor. All lawn areas shall be warranted for 60 days after final acceptance by the owner or owner's representative. Failure to comply with any of the above will result in landscape removal.
- MISCELLANEOUS**
- Contractor shall be responsible for obtaining and cost of all permits.
  - Contractor to have liability insurance including Owner and Landscaper as insured's in excess of \$10,000, as well as workmen's insurance.
  - All work to be done in a professional and workmanlike manner.
  - Contractor understands that an important element of the design of this project is symmetry and shall use care and instruct the working crews accordingly. In the event of any doubt as to how to execute the plans, Contractor shall immediately consult with Architect and/or Owner.
  - No change order shall be valid, due or paid unless it is approved by Owner in writing in advance.
  - These notes shall be an integral part of the contract of Contractor and shall be deemed incorporated therein by reference. In the event of a conflict among the terms among the plans and these notes, the terms of this document shall control.

REVISIONS	DATE

SITE PLAN FOR:  
10405 NW 19th STREET  
DORAL, FL 33172

DERICK LANGEL  
LANDSCAPE ARCHITECT  
FL LICENSE #A6687045

DATE  
12-3-2021  
SCALE  
SCALE: N.T.S.  
SHEET

L-4  
PLANTING NOTES